



Cammeray Public School Upgrade

Schematic Design Report

For NSW Department of Education

Document Quality Control

Project: Cammeray Public School Upgrade
Client: NSW Department of Education
Project No: 7068CY01

This document has been prepared by:

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NOTES:

Quality Assurance

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Revision History

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CURRENT ISSUE: D
Document Quality Control

Fulton Trotter Architects
acknowledge the **Cammeraygal**
people as the traditional custodians
of the land upon which the
Cammeray Public School stands. We
recognise their continuing connection
to land, waters and culture and pay
our respects to their Elders past,
present and emerging.

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1 Executive Summary

Fulton Trotter Architects have been engaged by NSW Department of Education (DOE) to design the upgrades to Cammeray Public School. Following the completion of the Master Plan Validation phase, Fulton Trotter have been engaged to deliver concept and schematic design phases.

This document outlines the design that has been developed for this project as well as the process that has been undertaken to develop the project details during this phase. The new facilities will be constructed using a combination of conventional and modern construction methods. Due to site constraints, the design will not be fully compliant with DOE's standard 'Hub Layouts' and pattern book. However, the designs and details are to comply with the intentions of these standards wherever possible.



Image: Fulton Trotter Architects

Proposed Project	
School:	Cammeray Public School (K-6 co-educational)
Projected students:	667
Proposed Number of Teaching Spaces	29 permanent teaching spaces total
EFSG Core	4 stream, Large Primary School (EFSG V2)
Proposed Works:	<ul style="list-style-type: none"> Construction of 4 new permanent teaching spaces in a two-storey building incorporating 2 general learning spaces and 2 practical activity areas New egress lift and stairs for access to all building levels External covered walkways connecting the new building to the existing school network Landscaping and external works including compensatory planting Upgrades to site infrastructure and services to support the new buildings Removal of 3 temporary (dismountable) classrooms from the eastern side of the school 50 bicycle parking spaces
Open play space per student:	12.28sqm / student
Amenities	Total toilet count 39

Project Status	
Current Phase	Schematic Design
Phase completion	March 2025

Design	
Site Due Diligence	Additional survey of Building E has been completed.
Brief	Scope of Work for upgrade has been agreed. Refer design brief outline in Section 3 .
Schedule of Accommodation	Shortfalls have been identified beyond the agreed project scope of work. These are detailed in Appendix 2 of this report
Concept Design	The design of a custom layout due to site constraints, however the requirements of the DOE standard layouts will be applied to the proposed design wherever possible.
Town Planning Pathway	REF pathway

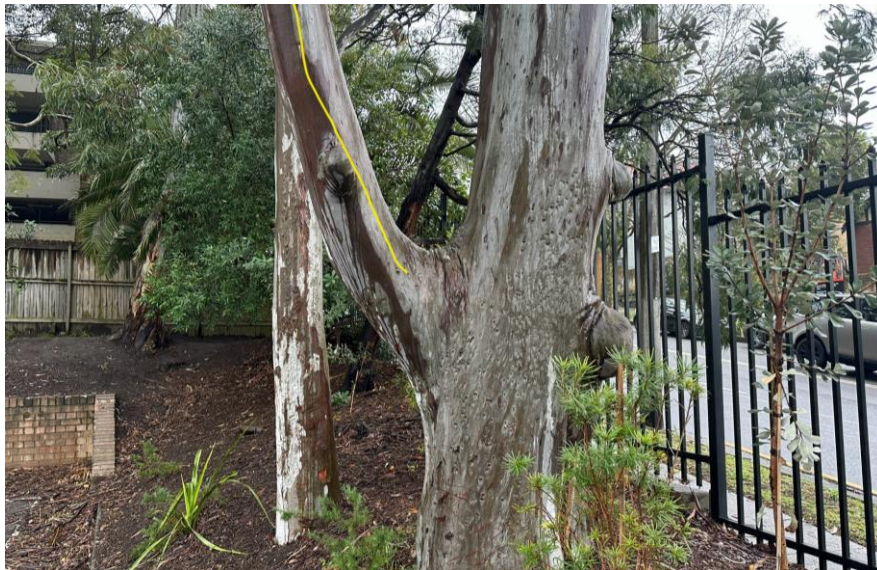


Image: Fulton Trotter Architects

Consultation	
Stakeholders	This project has been a collaborative effort with multiple key stakeholders. A contact list is included in Appendix 1 of this report
Buildability	The site can be accessed via Miller Street, however, access for emergency and service vehicles onto the site will need to be maintained throughout the construction period.
Safety in Design	A safety in design schedule has been developed for the project.
Connecting with Country	A formal Connecting with Country process is not being undertaken for this project. A local consultation process will happen. Consultation has been undertaken with a representative from the AECG for the region.
Sustainability	Green Star will not be required based on the value and size of the proposed works
EFSG	The project has been designed to comply with the requirements of EFSG and all relevant legislation. Refer departures schedule in Appendix 5 .

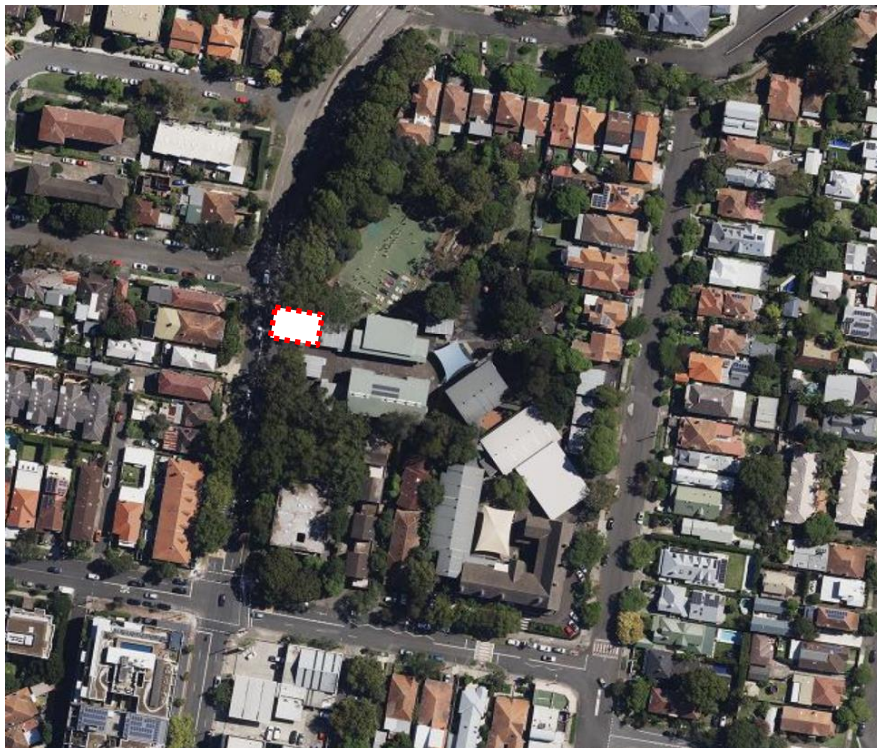
Engineering & Services	
Fire & Hydraulic	Hydrant system design to connect to Bellevue Street to ensure sufficient pressure and flow.
Electrical & ICT	Upgrades to be confirmed.
Civil / Structural	Structural design has been developed based on a concrete structure with lightweight framing infill and roof structure.
Traffic	50 bicycle parking spaces will be required as part of the project.
Landscaping	2 existing mature trees are to be removed. Offset planting is proposed on Miller St and adjacent to Building C
BCA	Building is considered an extension of the fire compartment of existing Building E. Therefore, the extended fire compartment area is acceptable.

2 Site

Site Details

Cammeray Public School is located within the Northern Sydney suburbs. The school has frontages to Miller Street, Palmer Street and Bellevue Street. Vehicular access is provided from Miller and Bellevue Streets. Pedestrian access is provided from both Palmer and Bellevue Streets.

The selected site for the new works is in the south-west corner of the campus – connected into the existing adjacent building (Building E). The new building will be visible from Miller Street



Aerial Image: SixMaps



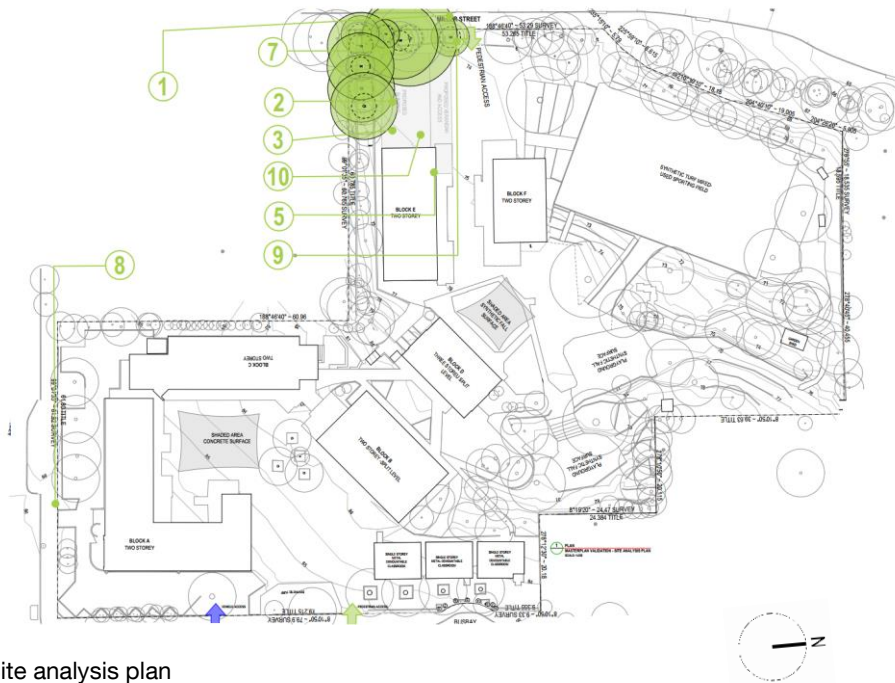
Site Details	
Address:	68 Palmer Street, Cammeray
Lots	Lot 66 DP1049613, Lots 4 & 5 of Section 35 DP758790, Lots 1&2 DP174370, Lot 1 DP123406, Lots 3 & 4 DP571310, Lot 11 DP837836, Lot 1DP316130 and Lot 1 DP316706
LGA	North Sydney Council
Site Area	1.36 hectares
Adjacent Land Uses	The site is bounded to the North East and South west by residential properties.
Site Established	1915, as the 'Suspension Bridge' school
Existing Site Features	The existing buildings consist of a series of one or two storey buildings. The buildings are finished with predominantly brick and metal wall cladding feature metal roofs.

Town planning Constraints	
Land Zoning	SP2 Educational Establishment in accordance with North Sydney Council LEP
Easements / Site Servicing	Electrical Services Easement is locate to the Palmer Street frontage.
Floor Space Ratio	No FSR applicable to the site
Height	8.5m
Environmental Constraints	The building is located within a heritage listed precinct. The Miller Street façade must be designed to be in keeping with the character of the surrounding area.

Site Analysis

Key site issues identified during a site visit undertaken by Fulton Trotter Architects are tabled below.

Issues identified in Due Diligence reports and the REF reports have also been noted as relevant.



Site analysis plan

	Site Issue	Comment / Status
1	Acoustic Impact	Traffic noise from Miller Street may necessitate consultation with an acoustic expert
2	Temporary buildings	Subject Demountables already removed from the site for the proposed building.
3	Building extension	The proposed building is to be located right against the existing Building E structure. The interaction between the two structures will need to be reviewed further
4	In ground services	There are some existing in-ground services nominated around the proposed building location in the site survey. Impact on these services will need to be reviewed during future phases of the project
5	Site levels & DDA compliance	The first level of Building E and the new building is ~1.5 meters out of the ground. DDA-compliant pathways will need to be considered in the design
6	Cut and Fill	Any proposed cut and fill on the site must be reviewed to ensure alignment with the brief and compliance with local council DCP controls.
7	Tree Protection Zones	Trees along the boundary are close to the proposed building. These TPZs should be considered as planning progresses.
8	Principle entry	Access to the proposed site from Principal entry point must be reviewed due to the significant site level differences.
9	Vehicle access	Vehicle gate and access from Miller Street should be maintained and clearway for vehicle access should be considered in design
10	Mould	Mechanical ventilation consideration to be given to the west façade of Building E as part of the design scope. Mould is apparent in the underfloor area

3 Design Brief

Master Plan Validation

The Master Plan Validation (MPV) phase was undertaken to confirm the planning direction. This involved a review of the NBRIS masterplan feasibility report, various due diligence reports, site conditions and liaison with advisory groups. The following scheme has been endorsed by the PCG.

Since the MPV was submitted, these following items have been developed further

- Review of the plant areas to the Miller Street frontage
- Development of the lift and stair locations
- Layout of the classroom spaces and Practical Activities Area
- Creation of a Withdrawal space within the Practical Activities Area



Site plan from MPV report

The following is the endorsed scope of work:

Design Brief		Teaching Spaces
Block G (Classroom)	Ground Floor: General Learning Space x2, Practical Activity Area	2
	Level 1: General Learning Space x2, Practical Activity Area	2
External Works	Covered walkways connecting the new buildings to the existing school network	
	New egress stair and lift	
	Landscaping and external works	
	Upgrades to site infrastructure and services to support the new buildings	
	Removal of 3 existing demountable buildings	
	50 bicycle parking spaces	
	Compensatory planting	
Works external to site	N/A	
	TOTAL Teaching Spaces	4

The Pattern Book Approach

The new facilities will be constructed using a combination of conventional and modern construction methods. The designs will be a custom design but will align with the principals of the DOE Pattern Book wherever possible. By utilising these established layouts, the project avoids the complexities and uncertainties of developing entirely new designs, ensuring a more efficient and predictable build. This approach not only simplifies construction but also facilitates smoother project management and delivery.

Schedule of Accommodation

A detailed schedule of accommodation for the proposed works and the overall site has been developed. It is included in **Appendix 2** of this report.

EFSG GAP Statement

A desktop gap analysis prepared by NBRS highlights that most key internal and external facilities identified are not included in the upgrade works and, therefore, do not need to align with the EFSG. While the analysis addresses no shortfall in staff and student amenities and storage, it does not account for the further reduction in these facilities post-demolition, exacerbating the overall gap. These deficiencies must be considered in the design of the proposed classroom buildings

Amenities - Fulton Trotter Architects has conducted a gap analysis to determine the required number of student amenities for the current student population capacity of approximately 667 students. This analysis has demonstrated that there is no shortfall in the number of student amenities provided on the site. Therefore, there are no student amenities proposed as part of this project.

Staff toilets are also included to this analysis. However, as there are no staff facilities proposed as part of this project this is not considered part of the project.

4 Design

Concept Design Planning

The new building (Block G) is created adjacent to the existing Block E building. The new building is created to set between the existing building and the setback from Miller Street. The building location requires the removal of 2 of the existing mature trees to the Miller Street frontage. The tree protection zones for the remaining trees can be maintained by the planning and will be protected during the construction period.

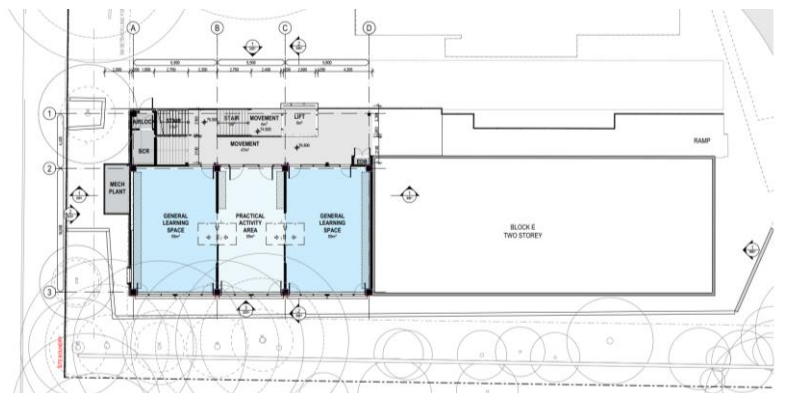
The planning of the building allows for 2 General Learning Spaces (GLS) across a 2-storey building. A Practical Activities Area and an adjoining Withdrawal Space is created between the two GLS.

The spaces are accessed from a verandah to the North that provides a connection to the existing Block E verandah. A new stair and a lift are created to the verandah area. This also provides access to the lower level of the building – to connect to the playground area.

Generous windows are provided to the South of the classrooms with views out into the trees.

Concept Design Finishes

Materials and finishes follow the DOE Pattern Book Materials & Finishes principles to be contextual, durable, local & economical. The colour combination is based on project specific local context.



Design Statement

The proposed building (Building G) presents as an extension to the existing building form of Block E. The building sits as a simple form, presenting a simple façade to the Miller Street frontage. Due to the location of the building in a heritage precinct, the façade will sit as a recessive element in the streetscape – sitting behind the existing trees.

The materiality of the building takes its cues from the existing buildings on the site. The façade to Miller Street will be predominantly brickwork in a colour to reflect the existing building materials. The remainder of the building is completed in CFC and anodised aluminium elements. These are finished with a neutral palette – punctuated with a number of feature colours. The feature colours feature red (referring to the colours of the heritage building) and blue (taking cues from Block E as well as the connections to the whale totem that is an important element of Country).

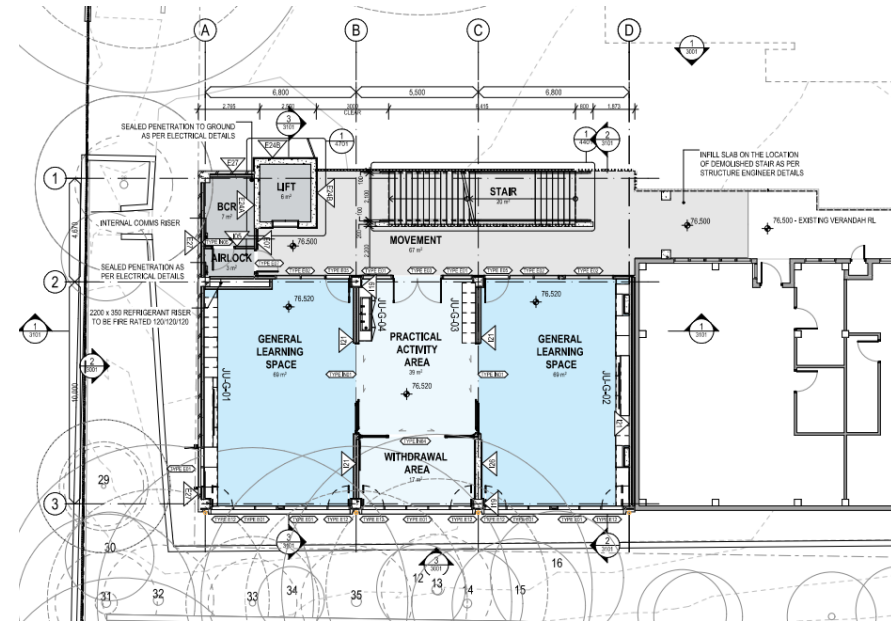


Schematic Design Planning

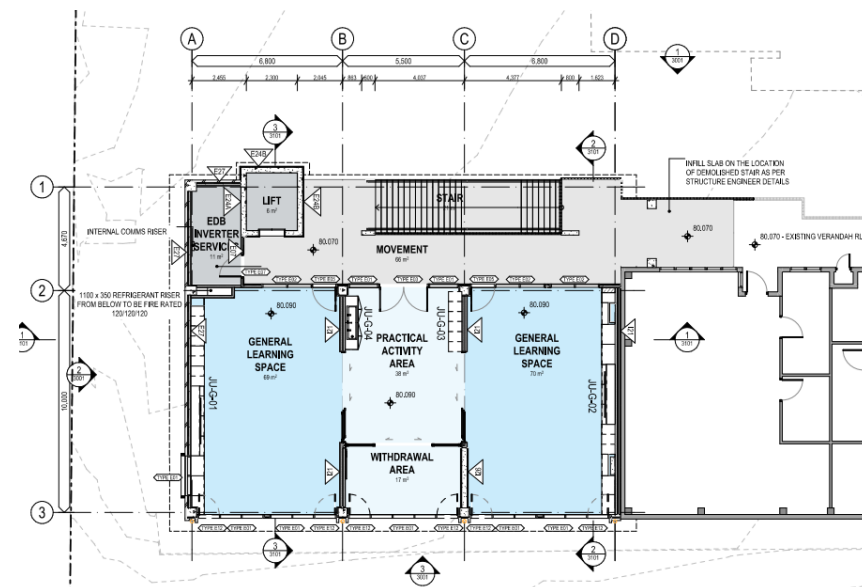
Following endorsement of the Concept Design for the project the documentation was developed further through greater consultation with the school and coordination with the consultant team. Throughout this phase the design concepts were developed largely in line with the concept design package

Since the Concept Design was submitted, the following items have been developed further:

- The layout of the lift and stairs to the Northern Verandah was reviewed and reconfigured. This came as a result of concerns about the restrictions to circulation paths that the previous layout was creating. The revised layout allows for a more open verandah, allows for more natural light into the teaching spaces and allows for a simpler arrangement of the services spaces (the BCR and EDB rooms)
- The materiality and layout of the elevations has been detailed to refine the building facades.
- The height of the roof was reviewed and increased following coordination with the final detailed survey of the existing Building E roof.
- The layout of the joinery and fixtures inside the teaching spaces was reviewed with the school. The designs are based on what is provided in the Pattern Book, but these have been modified to suit the custom layout of this building.
- The elevation to the building has been reviewed with the DOE Heritage representatives in order to confirm that it is in keeping with the wider community. The changes in the layout of the lift and the stair aided in simplifying the façade. This was approved by the DOE Heritage representatives.
- The removal of 3 existing demountables and the provision of landscaping to 'make good' the area.
- The location of the bike parking and compensatory planting was reviewed with the school and accepted.



Proposed Ground Floor Plan



Proposed First Floor Plan

Consultant Coordination

During the Schematic Design phase coordination was undertaken with the consultant team to develop the details of the project.

The key elements of consultant coordination undertaken during the Schematic Design Phase are outlined below:

- The location and layout of the mechanical plant to the sub-floor has been reviewed and coordinated. Following the re-configuration of the lift and stairs it was rationalised to largely open onto the Miller Street frontage – sitting behind the buffer planting on that streetscape.
- The location of the structural columns has been reviewed, coordinated and rationalised to minimise the number of columns required – particularly at the connection to Building E.
- The layout and location of the BCR and EDB rooms as been revised and coordinated following the reconfiguration of the stairs and lift.
- The roof and drainage outside of the lift shaft to provide weather protection for the lift shaft has been developed.
- The work needed on the Main Switchboard for the site has been reviewed and approved by the DOE heritage consultants

Value Engineering

Fulton Trotter Architects participated in Value Engineering workshops with RP Infrastructure and DOE to review the cost plan for the project. A number of value engineering items in relation to the architectural design were explored as part of this process but have not been adopted.



Artist's Impression – View from South-East

Landscape

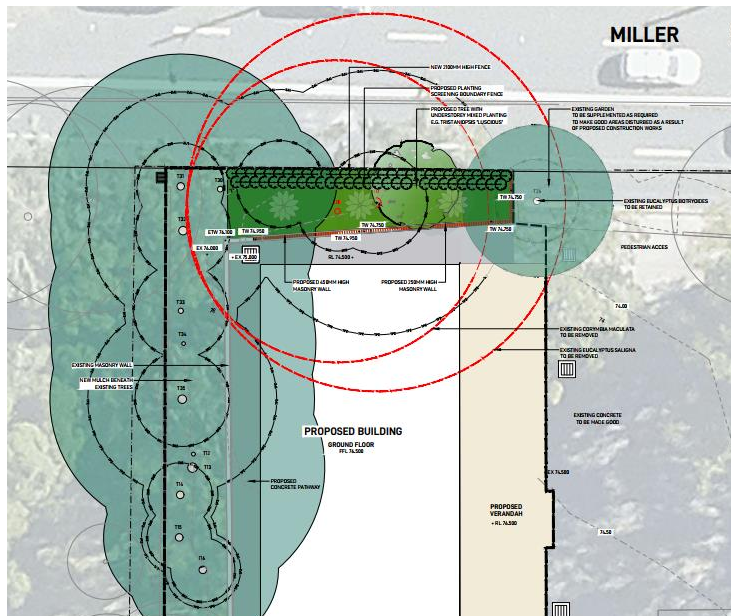
The approach to the Landscape Architectural design draws inspiration from the traditional flora and fauna of the area. The planting selections will also take cues from the new garden spaces being created as part of a separate project. These species are selected because they are native to the area. This has been reviewed with representatives from the AECG as part of the consultation for this project.

Replacement planting is proposed to the Miller Street frontage to replace the trees that are being removed. The new planting in that area provides some screen planting to the building.

Offset planting is also provided adjacent to Building C as a replacement for the 2 mature trees that are removed as part of the project.

Landscaping is also provided to the Bellevue Street frontage – replacing the demountables with synthetic turf (under a separate planning pathway) and providing new bicycle parking. A small welcome garden is also proposed providing and acknowledgement of country and ‘Welcome Garden’ for the site.

Details of the landscape concept are attached to this report in **Appendix 4**.

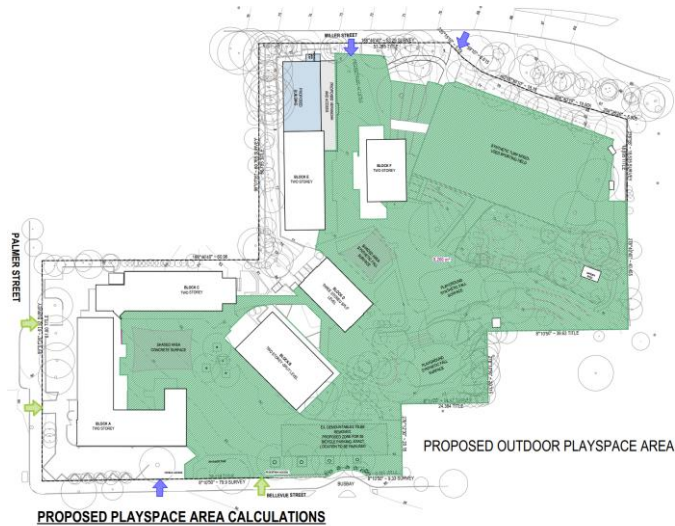


Proposed Landscape Plan (prepared by Ground Ink)

Design Strategy	
Pattern Book Hubs	n/a
Teaching Spaces	3 demountable removed 4 new teaching spaces (Block G) 29 permanent teaching spaces total
Amenities Strategy	The existing amenities for the site has been reviewed and it has been determined that there is no shortfall in the student amenities. There are no new amenities provided as part of these proposed works.
Play Space	12sqm / student
Building Services Strategy	New BCR and EDB cupboards are provided to the verandah areas of the new building. Upgrades are required to the existing MSB in Block A. Mechanical plant is located in the sub-floor areas around the perimeter of the new building.
Circulation Design Strategy	External walkways to comply with Pattern Book and EFGS Circulation Guidelines (DG08). Walkways tie into the existing building. Lift is integrated into walkway. 1 set of stairs – standard design.
Connecting with Country	A formal Connecting with Country process is not being undertaken for this project, however the design team have met with the AECG representatives to discuss initiatives that could be included in the campus.

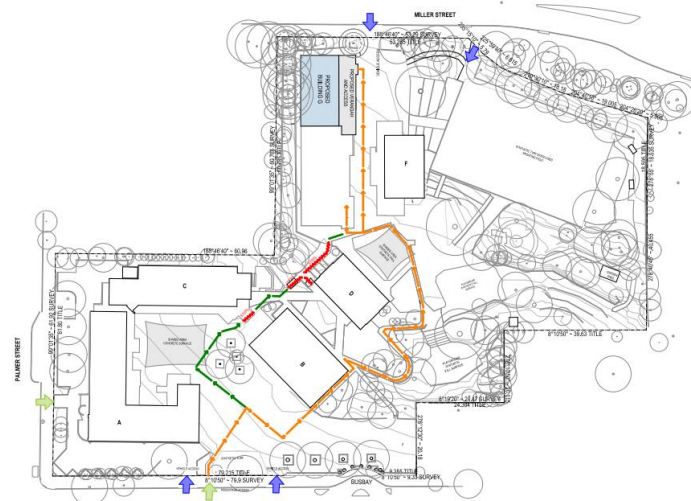
Concept Diagrams

- Play Space Calculation

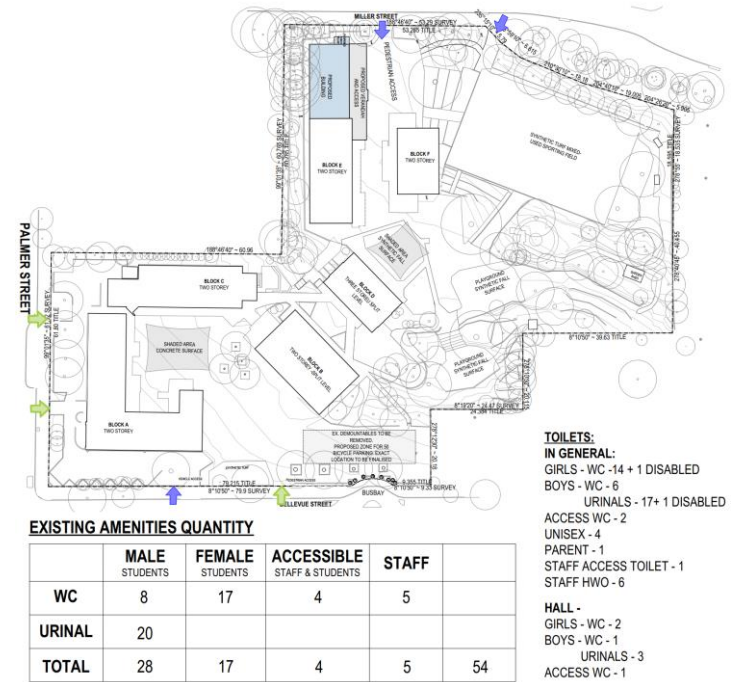


*STUDENT/SQM CALCULATION IS BASED ON A PROPOSED STUDENT POPULATION OF 667

- Accessibility and wayfinding (principal entry) DDA



- Amenities Strategy



5 Consultation

Design Consultation

Fulton Trotter Architects have undertaken a detailed consultation process with the school, the various stakeholders within the NSW Department of Education and the school community as part of planning each phase of this development.

Buildability

Staging Issues: The site for the proposed building is currently vacant, so there are no early works required to establish the site. A construction zone will be created along the Miller Street frontage. This will need to be established in order to maintain the vehicular access into the school – for service and emergency vehicles.

During the construction period part or all of the existing Block E will need to be vacated to avoid impact of construction noise on the classrooms.

Safety in Design

A safety in design schedule has been developed for the project. A copy of this report is included in **Appendix 8**.

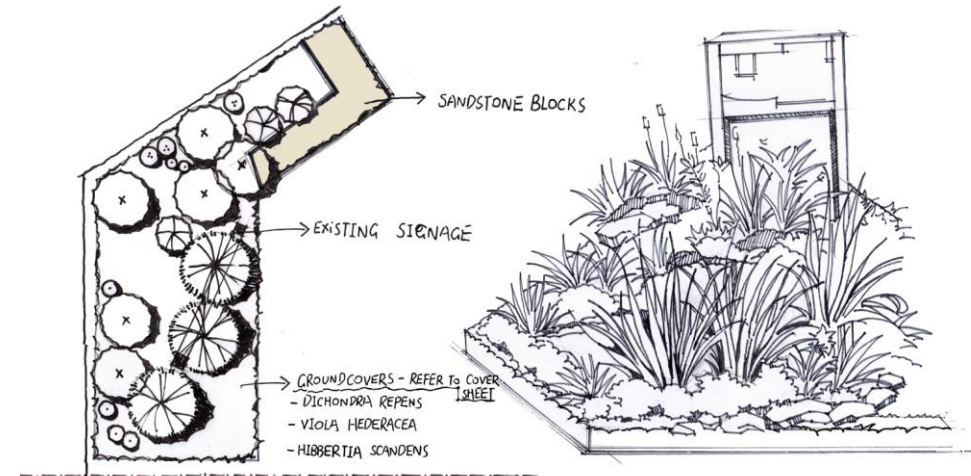
Connecting with Country

A formal Connecting with Country process is not being undertaken for this project; however, the design team will contact the school or AECG representatives to discuss initiatives that could be included in the campus.

Following consultation with the AECG representative (Jules Woodhouse) it was determined that a small welcome garden should be created in a small, currently unused garden area at the pedestrian entry off Bellevue Street.

The area will feature native planting and sandstone blocks that will be engraved with a Welcome to Country / Acknowledgement of Country statement.

The area is intended to be a welcoming statement at the point of entry for many of the students.



Details of this proposed response is outlined in the **Landscape Drawings attached to this report in Appendix 4.**

Sustainability

The project is not required to achieve a Green Star rating. The environmental performance of the development will be considered in the following ways –

- Siting and Orientation
- Natural Ventilation
- Façade design, utilising the Pattern Book shading devices as appropriate
- Energy Efficient Fixtures and Equipment
- External walls and roof material selection and insulation
- Potential for Rainwater Harvesting

EFGS

The project has been designed to comply with the requirements of the EFGS and all relevant legislation. Departures that have been raised during Concept Design from these requirements have been recorded in the **EFGS Departures Schedule** included in **Appendix 5** of this report.

Further discussions, directions and advice from the Design Advisory Team is recorded in the **RFI Tracker** – which is included in **Appendix 6** of this report.

6 Services and Engineering

The provision of services to the site and proposed building have been considered and integrated into the overall design outcome. A summary of the services management is outlined below –



Service	
Rainwater & Stormwater Management (Meinhardt)	Because the existing site of the building is bitumen paving, no additional OSD tank is required. New in-ground stormwater pipes will be created to collect the roof water drainage and will connect into the existing infrastructure.
Structural Engineering (Meinhardt)	The 2-storey building is proposed to be a concrete framed structure with reinforced & / post-tensioned flat plate suspended floors. The upper most storey (incl. roof) is to be a proprietary D&C light-weight steel modular frame structure (e.g. Austruss system).
Electrical Services (NDY)	<p>The school is currently supplied by a 315kVa transformer which has capacity for the proposed works (with dispensation from the 15% spare capacity requirement of the AHFG)</p> <p>New submain cabling will be reticulated in existing conduits to new building from the Main Switch Room (MSR) in Block A</p> <p>Replacement of the Main Switch Board insitu in Block A, the heritage listed building.</p> <p>An electrical distribution board (EDB) and a building control room (BCR) will be provided on the verandah areas of the new Block G.</p> <p>New communications reticulation will be provided from the Main Communications Room (MCR) in Block A</p>
Mechanical Services & Air Conditioning (NDY)	Air conditioning is provided to the proposed new Block G in line with EFSG Requirements. This is provided as a centralised system. Plant areas are to be provided in the sub-floor area at ground level, with ventilation through the façade of the building. A unit is also proposed for the BCR.



Service

BCA & DDA Assessment

New Block G

Classification: BCA Class 9b (Educational Purposes (classrooms))

Construction Type: B

Rise in storeys: 2

Climate zone: 6

Disability Access:

Block G has been sited to allow access from the existing Block E. Therefore, no additional DDA accessibility measures are required within the site. A new lift is provided to create access to all levels of the site.

Traffic

A Transport Working Group has been established between DOE and North Sydney Council. This has been facilitated by the project's Traffic Engineer's (Crossley TP). 50 additional bike parking spaces are to be provided on the site.

Waste Management

Construction and Operational waste management plans have been prepared by EcCell.

Loading Zones and Deliveries

The current arrangements for loading zones and deliveries for the site will be maintained.

7 Next Steps

Design Comments – items to be resolved in next phase

1. **D&C Contractor:** The project will be tendered to D&C contractors based on the Schematic Design documentation.
2. **Design Development / Issued for Construction Documentation:** Once a contractor is engaged they will complete the remainder of the project documentation (through the Design Development phase) to allow for the construction of the project. The remainder of the details and coordination will be completed during this phase.
3. **Planning Approval:** Planning approval will be sought for the project through a Review of Environmental Factors (REF).

Refer also to the Design Comments Tracker in **Appendix 8**



Appendix 1

CONTACT LIST



Project Team Contact List

Company	Discipline	Title/description	First Name	Surname	Work Phone	Email	Cammeray PS
ACOR	Hydraulic/Fire	Senior Hydraulic Designer	Rhys	Edwards	0421 760 925	redwards@acor.com.au	✓
ADE Consulting Group	Geotechnical & Contamination Services	Environmental Consultant	Karrin	Azzam	0490 072 877	karin.azzam@adegroup	✓
Arcadis	Cost Manager	Programme Director	David	Ball	0431 639 495	david.ball@arcadis.com	✓
Arcadis	Cost Manager	Cluster Director	Sumi	Sumithiran	0415 390 312	sumi.sumithiran@arcadis.com	✓
Arcadis	Cost Manager	Project Lead	Vincent	Caspe	0423 920 506	vincent.caspe@arcadis.com	✓
Arcadis	Cost Manager	Project Lead - Senior Cost Manager	Nicholas	Koutsoukis	0433 634 822	nicholas.koutsoukis@arcadis.com	✓
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City Plan Heritage	Heritage Consultant	Director	Kerime	Danis	0414 421 035	kerimed@cityplan.com.au	✓
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Meinhardt	Civil	Civil Lead	Brad	Lusty		brad.lusty@meinhardtgroup.com	✓
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NDY	Acoustics	Senior Engineer (Acoustic Lead)	Victoria	Rastelli	0421 736 119	v.rastelli@ndy.com	✓
NDY	ESD	Senior Engineer (ESD Lead)	Richard	Burton	0431 544 918	r.burton@ndy.com	✓
NDY	Acoustics	Acoustic Engineer	Jim	Wu	0482 598 946	j.wu@ndy.com	✓
RP Infrastructure	Project Manager	Associate Director (Program Lead)	Matt	Spooner	0418 203 222	matthew.spooner@rpinfrastructure.com.au	✓
RP Infrastructure	Project Manager	Senior Project manager (North Metro Cluster Lead)	Lynne	Donohoe	0416 143 638	Lynne.Donohoe@rpinfrastructure.com.au	✓
RP Infrastructure	RP Infrastructure	Senior Project Coordinator	Ann	Connolly	0401 313 437	ann.connolly@rpinfrastructure.com.au	✓
SINSW	Infrastructure Planning	Senior Transport Planner, North Region Transport	Jessica	Ng	0460 821 882	jessica.ng11@det.nsw.edu.au	✓
SINSW	Internal SINSW Statutory Planner	Statutory Planning Officer (Planning)	Patrick	Mills	0413 692 339	patrick.mills11@det.nsw.edu.au	✓
SINSW	Internal SINSW Statutory Planner	Statutory Planning	David	Lewis		david.lewis83@det.nsw.edu.au	✓
SINSW	Infrastructure Planning / Delivery	Senior Group Leader	Meenu	Bansal	0457 058 513	meenu.bansal@det.nsw.edu.au	✓
SINSW	Infrastructure Delivery	Community Engagement Manager	Sara	Gardner Gentles		Sara.GardnerGentles1@det.nsw.edu.au	✓
SINSW	Technical Services	Project Manager - Transport	Kamoru	Adetunmbi	0499 845 783	Kamoru.Adetunmbi2@det.nsw.edu.au	✓

Appendix 2

SCHEDULE OF ACCOMMODATION

Primary School

GAP ANALYSIS AND SCHEDULE OF ACCOMMODATION - DETAILS



Project information	
School name	Cammeray Public School (K-6)
Current enrolments	687 (source: myschool website)
Target Proposed enrolments	
Current Stream size	2
Proposed Stream size	2 (Primary School Medium)

		Stream		EFSG				Existing AMS Data				New and Refurbished Areas Total				
EFSG Unit ID	Proposed AMS Room Number	Room Number	Space	Size	No.	Total	FTS Count	Size	No.	Total	FTS Count	Size	No.	Total	FTS Count	Comments
PS 100			GENERAL LEARNING SPACES													
PS101			GENERAL LEARNING SPACES HUB													
PS101.01			General Learning Space (GLS)	67.5	24	1620	24	60	25	1495	25					All demountables are excluded from cout.All home bases <47sqm
		GR101	General Learning Space 1									66.0	1	66	1	
		GR102	General Learning Space 2									66.0	1	66	1	
		GR201	General Learning Space 3									66.0	1	66	1	
		GR202	General Learning Space 4									66.0	1	66	1	
PS101.02			Storage		1											
			<i>included in GLS as cabinetry</i>													
			Home base Store					6	21	132						
PS101.03			Learning Commons (LC)	135	6	810										
PS101.04			Practical Activities Area (PAA)		2			19	20	387						
			<i>included within Learning Common</i>													
		GR103	Practical Activities Area (PAA) 1									55.0	1	55.0	0	
		GR203	Practical Activities Area (PAA) 2									55.0	1	55.0	0	
PS101.05			Multi Purpose Space (MPS)		6											
			Withdrawl Type 1					10	12	124						
			TOTAL sqm GLS			2430.0	24			2138.0	25			374.0	4	
PS102			GENERAL LEARNING SPACES HUB (SUPPORT HUB)													
				Size	No.	Total	FTS Count	Size	No.	Total	FTS Count	Size	No.	Total	FTS Count	
PS102.01			General Learning Space (GLS)	67.5	3	202.5										
PS102.02			Storage		1											
			<i>included in GLS as cabinetry</i>													
PS102.03			Learning Commons (LC)	135	1	135										

			Stream					Existing				New and Refurbished Areas Total				
				EFSG				AMS Data								
EFSG Unit ID	Proposed AMS Room Number	Room Number	Space	Size	No.	Total	FTS Count	Size	No.	Total	FTS Count	Size	No.	Total	FTS Count	Comments
PS102.04			Practical Activities Area (PAA)		2											
			<i>included in Learning Commons</i>													
PS102.05			Multi Purpose Space (MPS)		1											
			<i>included in Learning Commons</i>													
PS102.06			Support Hub Meeting Room	20	1	20										
PS102.07			Staff WC	5.5	1	5.5										
PS102.08			Access Toilet	6.5	2	13										
PS102.09			Adult Change Facility + Shower	14	1	14										
PS102.10			Ambulant Toilets	3.5	2	7										
PS102.11			Laundry	8	1	8										
PS102.12			Outdoor Learning Commons (OLC)	1	135	135										
			TOTAL sqm SUPPORT GLS			540.0	0			0.0	0			0.0	0	
PS 200			CORE FACILITIES													
PS201			ADMINISTRATION HUB													
				Size	No.	Total		Size	No.	Total		Size	No.	Total	FTS Count	
PS201.01			Entry Vestibule	22	1	22		16	1	16						
PS201.02			Principal / Meeting Room	20	1	20		13	1	13						
PS201.03			Deputy Principal's Office	48	1	48		14	1	14						1 x single 13sqm min office & 1x double 26sqm min office
			Deputy Principal type 2					18	1	18						
PS201.04			Interview Room / Office	33	1	33		14	1	14						1x 13sqm rooms min & 1x 17sqm room min.
			Interview office - type 3					17	1	17						
PS201.05			Clerical / Printing	61.5	1	61.5		24	2	48						
PS201.06			Security Store Room	11	1	11		11	2	22						
PS201.07			Sick Bay	14	1	14		10	1	10						
PS201.08			Accessible Toilet / Shower	8	1	8										
PS201.09			Store / Community Clinic		0	0										Not standard inclusion. Could be archive store, community clinici, other. Confirm with DoE
PS201.10			Circulation	19.5	1	19.5										
			TOTAL sqm ADMIN			237.0	0			172.0	0			0.0	0	
PS202			STAFF HUB													
				Size	No.	Total		Size	No.	Total		Size	No.	Total	FTS Count	
PS202.01			Staff Lounge	125	1	125		23	3	74						
PS202.02			Kitchen Area	10	1	10										
PS202.03			Staff Toilets	33	1	33		0	0	0						2F + 2M + 1 Acc (includes circulation) requires site validation
			Access shower toilet					0	0	0						requires site validation
			Staff room annex					24	1	24						requires site validation

			Stream					Existing				New and Refurbished Areas Total				
				EFSG				AMS Data								
EFSG Unit ID	Proposed AMS Room Number	Room Number	Space	Size	No.	Total	FTS Count	Size	No.	Total	FTS Count	Size	No.	Total	FTS Count	Comments
PS202.04			External Circulation	0	0	0										Not a standard inclusion. Found in S size only. Footprint could be utilised for other purposed. Confirm with DoE
			TOTAL sqm STAFF			168.0	0			98.0	0			0.0	0	
PS203			HALL, CANTEEN & OSHC													
				Size	No.	Total		Size	No.	Total		Size	No.	Total	FTS Count	
PS203.01			Communal Hall	216	1	216		214	1	214						
PS203.02			Stage	50	1	50		36	1	36						
PS203.03			Chair Store Room	14	1	14		16	1	16						
PS203.04			PE Store Room	16	1	16										
PS203.05			Sports Store Room	13	1	13		15	1	15						
PS203.06			Performance Store Room	11	1	11										
PS203.07			Sound Cupboard	2	1	2		1	1	1						
PS203.08			Toilets	20	1	20										3M + 3F
			Toilets girls - number of pans					8	0	0						requires site validation
			Toilet boys - number of pans					7	0	0						requires site validation
			Toilet boys - Linear metreage of urinals					0	0	0						requires site validation
PS203.09			Accessible Toilet / Shower	8	1	8		0	0	0						requires site validation
PS203.10			OSHC office	21	1	21										requires site validation
PS203.11			OSHC store	26	1	26										requires site validation
PS203.12			OSHC Kitchenette	20	1	20										requires site validation
PS203.13			Canteen Office / Store Room	15	1	15		21	1	21						
PS203.14			Canteen	38	1	38		4	1	4						
PS203.15			Servery Covered Area		1	0										
			included in PS501.01 COLA (36sqm min)													
PS203.16			Staff Accessible Toilet	8	1	8										
PS203.17			Garden Store Room	13	1	13										
PS203.18			Bulk Store Room	16	1	16										
PS203.19			Cleaning Supplies Store Room	10	1	10										
PS203.20			Internal Circulation	56.75	1	56.75										
			TOTAL sqm HALL, CANTEEN + OSHC (min.)			573.8	0			307.0	0			0.0	0	
PS204			LIBRARY HUB													
				Size	No.	Total		Size	No.	Total		Size	No.	Total	FTS Count	
PS204.01			Library Main Area	270	1	270		90	1	90						
PS204.02			Shared Office / Workroom	27	1	27										
PS204.03			KLA Resource Store Room	20	1	20										
PS204.04			Staff Toilet	7	1	7										
PS204.05			Special Programs Room	33	2	66		46	2	91						
PS204.06			Special Programs Storage	0	1	0										
			Included within the GLS as cabinetry													

			Stream					Existing				New and Refurbished Areas Total				
				EFSG				AMS Data								
EFSG Unit ID	Proposed AMS Room Number	Room Number	Space	Size	No.	Total	FTS Count	Size	No.	Total	FTS Count	Size	No.	Total	FTS Count	Comments
PS204.07			Store	6	1	6										
PS204.08			Student Toilets	9	1	9										
PS204.09			Circulation		0	0										Not standard inclusion. Footprint could be utilised for other purposes. Confirm with DoE
			TOTAL sqm LIBRARY			405.0	0			181.0	0			0.0	0	
PS 400			STUDENT AMENITIES + STORAGE + SERVICES													
PS401			STUDENT AMENITIES													
				Size	No.	Total		Size	No.	Total		Size	No.	Total	FTS Count	
PS401.01			Toilets - Girls - WCs	4	17	68		44	0	0						requires site validation
PS401.02			Toilets - Boys - WCs	4	15	60		43	0	0						requires site validation
PS401.03			Toilets - Boys - Urinals			0			0	0						Urinals are replaced by cubicals at 1 cubical per 600mm of urinal
PS401.04			Drinking Facilities		17	0			0							requires site validation
PS401.05			Hand Washing Outlets		18	0			0							requires site validation
PS401.06			Access Toilet	8	3	24			0							to code requirements
			Shower / Change					2	1	2						
			TOTAL sqm STUDENT AMENITIES			152.0	0			2.0	0			0.0	0	
PS402			OTHER STORAGE / SERVICES													
				Size	No.	Total		Size	No.	Total		Size	No.	Total	FTS Count	
PS402.01			Cleaning Distributed Store Room	3	1	3		1	1	1						
PS402.02			Main Communications Room	15.5	1	15.5			0							requires site validation
PS402.03			Building Communications Room	8.4	2	16.8			0							requires site validation
PS402.04			Laundry	8	1	8			0							requires site validation
PS402.05			Kiln	6	1	6										
PS402.06			Main Switchboard Cupboard	8	1	8			0							Size to Statutory Requirements.
PS402.07			Distribution Board Cupboard			0			0							Size to Statutory Requirements.
PS402.08			Other services + Circulation Area Estimate	90.7	1	90.7										
			Garden Store					5	3	15						
			Bulk Store					24	9	217						
			Cleaning supplies store					2	1	2						
		GR104	Building Control Room (BCR)									6	1	6		
		GR105	Airlock										1	0		
			TOTAL sqm OTHER STORAGE / SERVICES			148	0			235	0			6.0	0	
PS403			OTHER MOVEMENT / SERVICES													
				Size	No.	Total		Size	No.	Total		Size	No.	Total	FTS Count	
PS403.01			Mechanical Services Pad	0	0	0						0	1	0		excluded
PS403.02			Movement External (within 9x7.5 grid)	0	1	0										
PS403.03			Movement External (external corridor)	1227	1	1227										

			Stream					Existing				New and Refurbished Areas Total				
				EFSG				AMS Data								
EFSG Unit ID	Proposed AMS Room Number	Room Number	Space	Size	No.	Total	FTS Count	Size	No.	Total	FTS Count	Size	No.	Total	FTS Count	Comments
PS403.04			External Circulation (PS401- within 9x7.5 grid)	125	1	125										
PS403.05			Staircase	396	1	396						0	1	0		x4 up to 3 storeys
PS403.06		GR106	Lifts		2	0						0	1	0		2 Lifts
		GR107	Movement External									0	1	0		
		GR117	Walkway									0	1	0		
		G1007	Movement External									0	1	0		
			TOTAL sqm OTHER MOVEMENT / SERVICES			1748	0			0	0			0.0	0	
			TOTAL AREA (FECA + UCA)			6637.8	(includes PS501.1)			3133.0				380.0		
PS 500			OUTDOOR AREAS													
PS501			OUTDOOR AREAS													
				Size	No.	Total		Size	No.	Total		Size	No.	Total	FTS Count	
PS501.01			Covered Outdoor Space (COLA)	236	1	236										
			Servery Covered Area						0							requires site validation
PS501.02			Tiered Outdoor Learning Space		1	0										
PS501.03			Assembly Court	630	1	630			1							
PS501.04			Assembly Court - Flagpole		3	0			0							requires site validation
PS501.05			Games Court	576	1	576			0							requires site validation
PS501.06			Open Play Space	10sqm / student					0							requires site validation
PS501.07			Bulk Waste Pad	Variable					0							requires site validation
PS501.08			Bicycle Parking / Enclosure	Variable					0							requires site validation
PS501.09			Car Parking	Variable					0							requires site validation
PS501.10			Kiss and Drop Zone	Variable					0							requires site validation
PS501.11			Bus Zone /s	Variable												
			TOTAL sqm OUTDOOR AREAS			1442	0			0	0			0	0	

Note NUFA excludes horizontal and vertical circulation; structure, walls or other engineering; services and plant rooms

Note EFSG reference codes may vary depending on size of school

Appendix 3

ARCHITECTURAL SCHEMATIC DESIGN

CAMMERAY PUBLIC SCHOOL

FOR SCHOOL INFRASTRUCTURE NSW

7068CY01



					Drawing Name	Rev
CPS	FTA	XX	XX	DR A 0000	COVER SHEET + DRAWING LIST	04
CPS	FTA	XX	XX	DR A 0001	SPECIFICATION SCHEDULE & MATERIAL SELECTIONS	04
CPS	FTA	XX	XX	DR A 0002	SIGNAGE SCHEDULE	02
CPS	FTA	00	00	DR A 1001	EXISTING SITE PLAN	04
CPS	FTA	00	00	DR A 1002	DEMOLITION SITE PLAN	04
CPS	FTA	00	00	DR A 1003	SITE ANALYSIS PLAN	04
CPS	FTA	00	00	DR A 1101	PROPOSED SITE PLAN	05
CPS	FTA	00	00	DR A 1201	SITE SECTIONS	04
CPS	FTA	00	00	DR A 1401	EXTERNAL WORKS PLAN	04
CPS	FTA	00	00	DR A 1501	STAGING PLAN	04
CPS	FTA	00	00	DR A 1601	PLAYSCAPE CALCULATION	02
CPS	FTA	00	00	DR A 1602	AMENITIES STRATEGY	02
CPS	FTA	00	00	DR A 1603	ACCESS STRATEGY	02
CPS	FTA	00	00	DR A 1604	TREE REMOVAL PLAN	02
CPS	FTA	00	00	DR A 1610	INDIGENOUS ARTWORK STRATEGY	03
CPS	FTA	00	00	DR A 1630	EXTERNAL MATERIAL AND FINISHES	03
CPS	FTA	00	00	DR A 1640	SHADOW DIAGRAM	03
CPS	FTA	00	00	DR A 1650	CONSTRUCTION MANAGEMENT STRATEGY	02
CPS	FTA	B00E	GF	DR A 2001	BUILDING E - DEMOLITION GROUND FLOOR PLAN	06
CPS	FTA	B00E	L1	DR A 2002	BUILDING E - DEMOLITION LEVEL 1 PLAN	05
CPS	FTA	B00E	LR	DR A 2003	BUILDING E - DEMOLITION ROOF PLAN	04
CPS	FTA	B00G	LG	DR A 2100	BUILDING G - UNDERCROFT LEVEL	06
CPS	FTA	B00G	GF	DR A 2102	BUILDING G - PROPOSED GROUND FLOOR PLAN	06
CPS	FTA	B00G	L1	DR A 2103	BUILDING G - PROPOSED LEVEL 1 FLOOR PLAN	06
CPS	FTA	B00G	LR	DR A 2104	BUILDING G - PROPOSED ROOF PLAN	06
CPS	FTA	B00G	GF	DR A 2201	BUILDING G - GROUND FLOOR RCP	05
CPS	FTA	B00G	L1	DR A 2202	GROUND FLOOR - LEVEL 1 RCP	05
CPS	FTA	B00G	GF	DR A 2301	GROUND FLOOR - GROUND FLOOR FINISHES PLAN	03
CPS	FTA	B00G	L1	DR A 2302	GROUND FLOOR - LEVEL 1 FINISHES PLAN	03
CPS	FTA	B00G	ZZ	DR A 3001	BUILDING G - ELEVATIONS 01	05
CPS	FTA	B00G	ZZ	DR A 3101	BUILDING G - SECTIONS 01	05
CPS	FTA	B00G	ZZ	DR A 4001	WALL TYPES 01	04
CPS	FTA	B00G	ZZ	DR A 4201	SECTION DETAILS 01	04
CPS	FTA	B00G	ZZ	DR A 4202	SECTION DETAILS 02	04
CPS	FTA	B00G	ZZ	DR A 4203	SECTION DETAILS 03	04
CPS	FTA	B00G	ZZ	DR A 4401	STAIR DETAILS	03
CPS	FTA	B00G	ZZ	DR A 4501	BALUSTRADE AND HANDRAIL DETAILS	04
CPS	FTA	B00G	ZZ	DR A 4701	LIFT DETAILS	04
CPS	FTA	B00G	ZZ	DR A 4901	TYPICAL FASCIA DETAILS	04
CPS	FTA	B00G	ZZ	DR A 5001	ROOM ELEVATIONS 01	04
CPS	FTA	B00G	ZZ	DR A 5002	ROOM ELEVATIONS 02	04
CPS	FTA	B00G	ZZ	DR A 6001	EXTERNAL DOOR & WINDOW SCHEDULE	01
CPS	FTA	B00G	ZZ	DR A 6002	INTERNAL DOOR & WINDOW SCHEDULE	02
CPS	FTA	B00G	ZZ	DR A 9001	PERSPECTIVES 1	03
CPS	FTA	B00G	ZZ	DR A 9002	PERSPECTIVES 2	03
CPS	FTA	B00G	ZZ	DR A 9003	PERSPECTIVES 3	02
CPS	FTA	B00G	ZZ	DR A 9004	PERSPECTIVES 4	02

DESIGN CRITERA SCHEDULE

Design wind criteria
The design wind criteria applied in accordance with AS 1170.2, 'Structural Design Actions Part 2: Wind Actions', are:
Region: A2
Building Importance Level: 3
Regional Wind Speed: 46 m/sec
Terrain Category: 3

Atmospheric corrosivity category
The atmospheric corrosivity category in accordance with AS/NZS 2312.2 is: C3
Unless noted otherwise the minimum category applicable is to be category C. Categories D, E and F to apply if deemed appropriate by the relevant manufacturers.

Design Rainfall intensity to AS/NZS 3500.3 : Eaves Gutters = 1 in 20 year storm, 5 minute duration (240mm/hr)

Insulation design requirements
The insulation design criteria are;
Building Climate Zone: 6
BCA Building Type: 9b
Roof system R value: 4.5 downwards
Wall system min R value: 1.4
Floor system min R value: not required

MATERIALS + FINISHES SELECTIONS

322 CONCRETE

Refer to specification for concrete selections and finishes.

332 MASONRY

MA01- BRICKS - FACEWORK - TYPE 1
Finishes Code: BK08 - PGH_Monash Grey

332 STRUCTURAL STEEL

SS02 - STRUCTURAL STEEL - HOT DIPPED GALVANISED COATING

442 METAL ROOFING + CLADDING

MR02 - METAL ROOF SHEETING - RIBBED
Finishes Code: CB24 - Colorbond Surfmist

MR42 - GUTTER EAVES - 200mm HALF ROUND
Finishes Code: CB18 - Colorbond Monument

MR51 - DOWNPIPE - METAL - 100DIA ZINCALUME
Finishes Code: CB18 - Colorbond Monument

MR52 - DOWNPIPE - METAL - 150DIA ZINCALUME
Finishes Code: CB18 - Colorbond Monument

MR61 - DP PROTECTION - SMALL
Finishes Code: CB18 - Colorbond Monument

MR62 - DP PROTECTION - LARGE
Finishes Code: CB18 - Colorbond Monument

MR71 - FASCIA - METAL FACED CFC
Finishes Code: CB18 - Colorbond Monument

MR91 - FLASHINGS & TRIMS
Finishes Code: CB18 - Colorbond Monument

MR92 - GUTTER GUARD
Finishes Code: CB18 - Colorbond Monument

442 CLADDING

CL41 - PREFINISHED SHEETS - FC TYPE 1 - CEMINTEL
Finish: IC02 - CEMINTEL_Barestone - Original
IC09 - CEMINTEL_Surround - Truss Grey

CL52 - FC SOFFIT- PREFINISHED
Finishes Code: to match CB24 Surfmist

452 GLAZING

GL03 - LAMINATED GLASS - CLEAR

GL04 - LAMINATED GLASS - TINTED
Finishes Code: Grey Tint

GL06 - TOUGHENED GLASS - CLEAR

GL07 - TOUGHENED GLASS - TINTED
Finishes Code: Grey Tint

GL33 - VINYL FILM - PRINTED
Finishes Code: refer Signage schedule

462 DOORS,WINDOWS & HARDWARE

ALUMINIUM FRAMED DOORS & WINDOWS
Finishes Code: MF05 - AFF-Anodised-Satin Charcoal Grey

SOLID LEAF TYPES
Finishes Code: PC43 - DULUX_Bay Retreat

DW33 LOUVRES - 150MM
Finishes Code: PC43 - INTERPON_Bleu_Sable

472 INSULATION & SARKING

Refer to specification for insulation and sarking selections.

512 LININGS & CEILINGS

PLASTERBOARD - WALLS, GENERALLY
Finishes Code: PF01 - DULUX_Lexicon Quarter

PLASTERBOARD - CEILINGS, GENERALLY
Finishes Code: PF02 - DULUX_Ceiling White

FC LINING - WALLS, GENERALLY
Finishes Code: PF01 - DULUX_Lexicon Quarter

FC LINING - CEILING - GENERALLY
Finishes Code: PF02 - DULUX_Ceiling White

LC42 - EXPOSED GRID CEILING - ACOUSTIC
Finishes Code: Standard White

LC59 - TRIM TIMBER
Finishes Code: PF03 - DULUX_Smokebush

LC81 - ACOUSTIC CEILING PANEL SYSTEM
Finishes Code: AF12 - WOVEN
IMAGE_EchoPanel_Cinnamon
AF31 - INSTYLE_Ecoustic Felt_Artic

LC86 - ACOUSTIC WALL FABRIC
Finishes Code: AF01 - INSTYLE_Ecoustic Felt_Lunar
Scheme 1: AF11 - WOVEN IMAGE_EchoPanel_Wine
AF12 - WOVEN
IMAGE_EchoPanel_Cinnamon
AF31 - INSTYLE_Ecoustic Felt_Artic
AF32 - INSTYLE_Ecoustic Felt_Nautical
AF34 - AUTEX_Composition_Stonewash

Scheme 3:

LC87 - ACOUSTIC WALL FABRIC - PATTERNED
Finishes Code: AF02 - INSTYLE_Ecoustic Yalgu_Stringybark
Scheme 1: AF13 - INSTYLE_Ecoustic Yalgu_Tamarind
Scheme 3: AF33 - INSTYLE_Ecoustic Yalgu_Nightsky

522 JOINERY

JY01 - 18MM HIGH PRESSURE LAMINATE - MR E0 MDF
Locations: Generally doors, drawers and gables

JY02 - 18MM LOW PRESSURE LAMINATE - MR E0 MDF

JY03 - 25MM HIGH PRESSURE LAMINATE - MR E0 MDF
Locations: Generally full height doors and open shelving

JY04 - 38MM HIGH PRESSURE LAMINATE - MR E0 MDF

JY05 - 38MM POSTFORM HIGH PRESSURE LAMINATE BENCHTOP - MR EO MDF

JY07 - WRITABLE SURFACE

JY08 - CARCASS / WHITEBOARD

JY09 - 18MM RAW MR E0 MDF BOARD

JY11 - 13MM COMPACT LAMINATE

LAMINATE SELECTIONS
Finishes Code/Decor: LAM01 - FORESTONE_Egger_Premium White_Gloss
LAM06 - FORESTONE_Egger_White Linen
Scheme 1: LAM11 - FORESTONE_Egger_Rusty Red, U335 ST9
LAM12 - FORESTONE_Egger_Antique Rose, U325 ST9
LAM13 - FORESTONE_Egger_Sand Yellow, U125 ST9
Scheme 3: LAM31 - FORESTONE_Egger_Ocean Blue, U565 ST9
LAM32 - FORESTONE_Egger_Misty Blue, U502 ST9
LAM33 - FORESTONE_Egger_Almond Beige, U211 ST9

JY21 - 25MM MILD STEEL - POWDERCOAT FRAME
Finishes Code: PC04 - Black

532 METALWORK

MW01 - BALUSTRADE - GALV STEEL
Finish: hot dip galvanised

MW54 - AWNING ALUMINIUM TYPE 2 - VERTICAL FINS
Finishes Code: PC12 - DULUX DURATEC - Intensity_Desert Satin

MW59 - FACADE FRAMING ELEMENT - ALUMINIUM
Finishes Code: CB18 - COLORBOND_Monument

MW72 - ACOUSTIC LOUVRES PLANT SERVICES STORES - TYPE 1 (150 WIDE)
Finishes Code: CB18 - COLORBOND_Monument

542 SIGNS AND DISPLAY

Refer to Specification for Statutory Signage requirements
Refer to Signage Schedule for all other sign types.

552 MISCELLANEOUS FIXTURES

FX91 - ROLLER BLINDS - MANUAL BLOCKOUT
Finishes Code: FB01 - HUNTER DOUGLAS_Paperbark

582 HYDRAULIC FIXTURES

Refer Specification Volume 1 for Hydraulic Fixtures Selections and associated fixtures.

The quantities of the fixtures are listed below

HY19 - TROUGH - PRACTICAL ACTIVITIES
QTY: 2

652 RESILIENT FINISHES

RF01 - MAIN FLOOR VINYL
Finishes Code: VN01 - TARKETT_Granit_Warm Grey
Scheme 1: VN11 - TARKETT_iQ Granit_Red Brick

RF02 - ANTI-STATIC FLOOR VINYL
Finishes Code: VN02_GERFLOR_Mipolam Affinity
EL7_Grey Storm 4159

662 CARPETS & MATS

CM01 - CARPET TILE TYPE 1
Finishes Code: CP01 - SIGNATURE_Raw Elements_Bedrock_Shale_3-000-000-01
Scheme 1: CP11 - SIGNATURE_Raw Elements_Gemstone_Shale
Ruby_3-133-134-01
CP12 - SIGNATURE_Raw Elements_Gemstone_Shale
Sunstone_3-135-136-01
CP13 - SIGNATURE_Raw Elements_Gemstone_Shale
Ametrine_3-133-134-01
CP31 - SIGNATURE_Raw Elements_Gemstone_Shale
Sodalite_3-129-130-01
CP32 - SIGNATURE_Raw Elements_Gemstone_Shale
Angelite_3-131-132-01

CM26 - ENTRY MAT - INTERNAL
Finishes Code: CP06 - FORBO_Coral Classic_4721
Mouse Grey

DRAWING & SPECIFICATION MATERIAL CODE LEGEND

The Codes below represent the Specification Trade Section where detailed selection information is to be obtained for elements nominated in the drawings. The codes below will be followed by a two / three numeric trade selection reference for each different selection type.

TRADE SECTION	CODE
GENERAL	
Fire Stopping	FS
Termite Management	TM
Access Safety Systems	AS

SITE	
Landscape	LD

STRUCTURE	
Concrete	CN
Brick & Block Construction	MA
Structural Steel	SS
Light Steel Framing	SF
Timber Framing	TF
Decking & Flooring	FD

ENCLOSURE	
Waterproofing External	WE
Metal Roofing & Cladding	MR
Roof Tiling	RT
Cladding	CL
Glazing	GL
Doors, Windows & Hardware	DW
Insulation & Sarking Membranes	IS

INTERIOR	
Linings & Ceilings	LC
Joinery	JY
Metalwork	MW
Signs and display	SD
Miscellaneous Fitures	FX
Equipment & Appliances	EQ
Furnishings & Furniture	FF
Hydraulic Fixtures	HY

FINISH	
Rendering & Plastering	RP
Cementitious Toppings	CT
Waterproofing - Wet Areas	WI
Tiling	TG
Resilient finishes	RF
Carpets	CM
Painting	PG

Patternbook Interior Design Components: Reference Documentation

Floor Finishes - refer to the *SINSW Patternbook, Volume 2, section 5.2* for Floor Finish Design intent to the Learning Commons and GLS / Multi-Purpose Room. Additional detail on finishes can be found on the SINSW GLS and SLU GA PLAN & FFE drawings.

Wall Finishes - refer to the *SINSW GLS and SLU GA PLAN & FFE* drawing for indicative extents of wall applied finishes.

Ceilings Finishes - refer to the *SINSW Patternbook, Volume 2, section 5.3* for Ceiling Finish Design intent to the Learning Commons and GLS / Multi-Purpose Room. Additional detail on finishes can be found on the SINSW GLS and SLU GA PLAN & FFE drawings.

Joinery - refer to the *SINSW Patternbook, Volume 2, section 5.4* for Joinery Design intent to the Learning Commons and GLS / Multi-Purpose Room. Additional detail on joinery can be found in the *SINSW Design Guide Note DGN005 - Furniture, Fixtures and Equipment (joinery)* in *Primary School General Learning Spaces*.

Furniture - refer to the *SINSW GLS and SLU GA PLAN & FFE* drawing for indicative furniture layouts.

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SCHEMATIC DESIGN
SCHOOL INFRASTRUCTURE
NSW

CAMMERAY PUBLIC SCHOOL

68 PALMER STREET,
CAMMERAY, NSW

SPECIFICATION SCHEDULE & MATERIAL SELECTIONS

Figured dimensions take precedence over scale dimensions. Contractors must verify all dimensions on site before commencing any work or making shop drawings.

PROJECT NUMBER	DIRECTOR	CHECKED
7068CY01	JW	NK

DRAWING NUMBER	REVISION
CPS-FTA-XX-XX-DR-A-0001	04

150mm @ A1



100

50


150 100 150mm @ A1

plot date: Tuesday, 11 February 2025 9:47 AM file location: B:\Mcloud: FTA-SYD-BIM26 - BIMcloud Basic for Archicad 26\7068CY01 Cammeray Public School


SN21 – SIGN EXTERNAL – Decorative Building ID Letters/ AMS building identification

Property	Description
Drawing Code:	SN21
Item:	Decorative Building Identification Letters
Details:	Aluminium powder coated sign plate with either laser cut 3M vinyl film (strong adhesive to avoid peeling and students picking) or printed directly onto sign Aluminium panel with engraved and paint filled lettering screw fixed to wall
Sign Text:	Letters created with diagonally angled lines. Area between lines increases halfway through the letter.
Font:	Gill Sans MT Regular (As per EFSG Details)
Size:	600mm H (Width according to letter proportion) Exact size to be confirmed
Fixing:	Pre-drilled holes in each corner at a maximum of 300mm intervals Screw and adhesive fix to wall through pre-drilled holes with compatible noncorrosive screws.
Finish:	Powder Coat Aluminium – Colour to be as per the selected colour scheme Vinyl - white
Colour Scheme:	Scheme 1 and Scheme 3
Mock Up & Example:	 
Notes:	ACM (Aluminium Composite Material) will NOT be accepted as an alternative to aluminium.
Quantity:	1

SN23 – ROOM ID SIGN – AMU Room Numbers

Property	Description
Drawing Code:	SN23
Name:	Fixed Room Identification System (AMS Signage)
Sign Details:	Changeable Plate System within Aluminium Holder
Plate Details:	Laminated plastic with contrasting-coloured layers contrasting coloured layers with engraved characters. Depth of engraving sufficient to cut through top layer to reveal lower laminate colour. (as per EFSG Details)
Holder Details:	Extruded aluminium in natural satin finish to 10 microns (minimum)
Typeface:	Folio Medium Extended (As per EFSG Details)
Size:	Plate: (Text width + 30mm each end) W x 30mm H (<i>As per EFSG Details</i>)
	Holder: (Text width + 32mm each end) W x 32mm H (<i>As per EFSG Details</i>)
	Text: Characters 16mm H
Install Location:	Centre of door frame at top of the door
Fixing:	Screw Fixed on flat section in 3 places. Glue and screw fix with 3mm diameter countersunk screws (EFSG requirement)
Finish:	Plate: Silver (as shown in example below)
	Text: Black Letters (as shown in example below)
EFSG Details:	Ensure EFSG approval before ordering or manufacturing sign
Example:	
Notes:	Existing doors with existing door number plates to be reviewed. If the sign is missing or damaged, to be replaced with the specification note above. If the sign is in good condition and the room function is the same no sign required. If the sign is in good condition but the room's purpose has changed only new sign plate is require with new purpose as listed below.
Location:	ALL DOORS MUST have AMS Room Number Displayed in accordance with EFSG requirements.
Quantity:	9

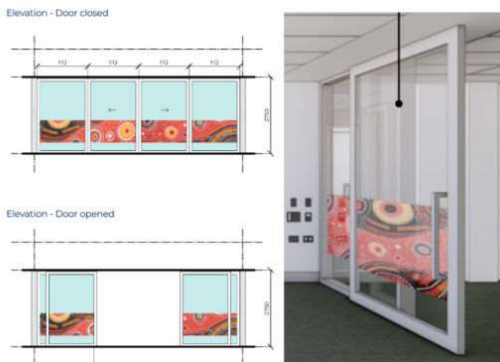
SN24 – ROOM ID SIGN – BOH Rooms

Property	Description
Drawing Code:	SN24
Name:	Fixed Room Identification (AMS Door Signs)
Details:	Changeable Plate System within Aluminium Holder
Typeface:	Folio Medium Extended (As per EFGS Details)
Plate:	(Text width + 30mm each end) W x 30mm H (As per EFGS Details)
Holder:	(Text width + 32mm each end) W x 32mm H (As per EFGS Details)
Text:	Characters 16mm H
Install Location:	1000mm AFFL to centre, centred on door.
Fixing:	Screw Fixed on flat section in 3 places. Glue and screw fix with 3mm diameter countersunk screws (Glue/MS requirement)
Finish:	Plate: Silver
	Text: Black Letters
Example:	
Notes:	
Location:	To ALL timber doors and to rooms which are not identified under SN020 or SN021. Exact Room names to be confirmed with School.
Quantity:	3

SN32 – NOTICE SIGNAGE, Size Type 01

Property	Description								
Drawing Code:	SN32								
Name:	Notice Signage – Size Type 01								
Details:	Screen-printed lettering and symbols on 1.6mm thick powder coated finish aluminium. The panels to have rounded corners and mount holes in each corner. <i>(extract from EFGS guidelines. Type A sign was selected)</i>								
Fixing:	Screw or bolt fixed to a solid base								
Size (nominal):	300 W x 225mm H								
Letters:	To AS 1319								
Description:	White background “NOTICE” printed on top of sign with blue background and white text Sign wording (as listed below) in black print under “NOTICE”								
Mock Up:	<div><div>Text Example</div><div><div>300mm</div><div>225mm</div><div><div>NOTICE</div><div>GUARDS MUST BE IN PLACE BEFORE SWITCHING ON</div></div></div></div>	<div><div>Symbol & Text Example</div><div><div>300mm</div><div>225mm</div><div><div>NOTICE</div><div><div><div><div></div><div></div><div></div></div><div></div></div><div>NO SMOKING</div></div></div></div></div>							
Note:	Vinyl Cut signs are not acceptable								
Location:	<table><tr><th>LEVEL</th><th>ROOM</th><th>SIGN TEXT</th><th>QTY</th></tr><tr><td>First Floor</td><td>EDB</td><td>NOT TO BE USED FOR STORAGE</td><td>1</td></tr></table>	LEVEL	ROOM	SIGN TEXT	QTY	First Floor	EDB	NOT TO BE USED FOR STORAGE	1
LEVEL	ROOM	SIGN TEXT	QTY						
First Floor	EDB	NOT TO BE USED FOR STORAGE	1						

SN50 – FILMS/DECALS – Classroom Decals

Property	Description
Drawing Code:	SN50
Name:	Classroom Artwork Decal
Details:	Art decal to dimensions shown as per the Pattern Book to provide privacy and visual contrast requirements
Size (mm):	Refer to the Pattern Book
Artwork:	To be confirmed by the school
Finish:	High-quality, durable vinyl with anti-fade and anti-scratch properties.
Fixing:	Directly installed on Glazed Sliding doors and panels. Professional installation to ensure no air bubbles, misalignments, or defects.
Mock Up:	 <p><i>*Example only. Colour is not representative of specification</i></p>
Location:	Decals on External & Internal Glazing required as per the Pattern Book. Refer to Architectural Drawing: CPS-FTA-B00G-ZZ-DR-A-5001 CPS-FTA-B00G-ZZ-DR-A-5002

02	100% SCHEMATIC DESIGN - REVISED	11/02/2025	NK
01	100% SCHEMATIC DESIGN	29/01/2025	NK
REV.	DESCRIPTION	DATE	INIT.

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NSW 3303 NSW 3318 NSW 4328 NSW 4329 NSW 4900

PHASE
CLIENT
PROJECT
ADDRESS

SCHEMATIC DESIGN

SCHOOL INFRASTRUCTURE

NSW

CAMMERAY PUBLIC SCHOOL

**68 PALMER STREET,
CAMMERAY, NSW**

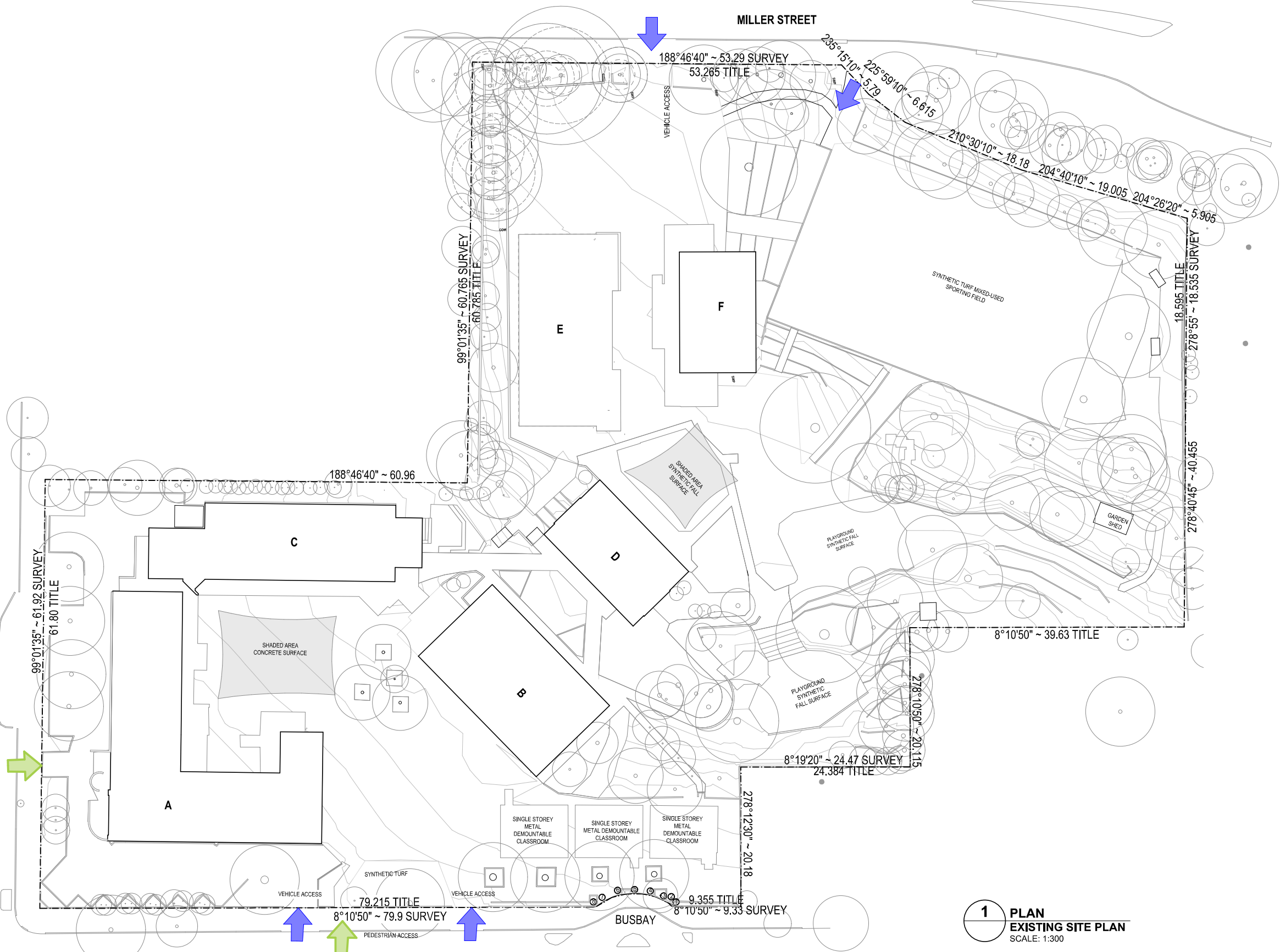
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	<p>Figured dimensions take precedence over scale dimensions. Contractors must verify all dimensions on site before commencing any work or making shop drawings.</p>		
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PALMER STREET

MILLER STREET

BELLEVUE STREET

- SITE PLAN LEGEND**
- BOUNDARY LINE
 - MINOR CONTOUR
 - MAJOR CONTOUR
 - EXISTING BUILDING
 - EXTENT OF HARD SURFACES
 - LINE OF ROOF ABOVE
 - FENCE LINE
 - EXISTING TREE



1 PLAN
EXISTING SITE PLAN
SCALE: 1:300

REV.	DESCRIPTION	DATE	INIT.
04	100% SCHEMATIC DESIGN - REVISED	11/02/2025	NK
03	100% SCHEMATIC DESIGN	10/01/2025	NK
02	80% SCHEMATIC DESIGN	13/12/2024	NK
01	50% SCHEMATIC DESIGN	03/12/2024	NK
P5	100% CONCEPT DESIGN	14/11/2024	NK
P4	80% CONCEPT DESIGN	18/10/2024	NK
P3	FOR INFORMATION	09/10/2024	NK
P2	FOR INFORMATION	30/09/2024	NK
P1	FOR INFORMATION	20/09/2024	NK

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SCHEMATIC DESIGN
SCHOOL INFRASTRUCTURE
NSW
CAMMERAY PUBLIC SCHOOL
68 PALMER STREET,
CAMMERAY, NSW

EXISTING SITE PLAN
Figured dimensions take precedence over
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all dimensions on site before commencing
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PROJECT NUMBER 7068CY01 DIRECTOR JW
DRAWING NUMBER CPS-FTA-00-00-DR-A-1001
CHECKED REVISION 04

PALMER STREET

MILLER STREET

BELLEVUE STREET

SITE PLAN LEGEND

- BOUNDARY LINE
- MINOR CONTOUR
- MAJOR CONTOUR
- EXISTING BUILDING
- EXTENT OF HARD SURFACES
- LINE OF ROOF ABOVE
- FENCE LINE
- EXISTING TREE
- TO BE DEMOLISHED
- DEMOLISHED TREE

TO BE DEMOLISHED

1 PLAN
DEMOLITION SITE PLAN
SCALE: 1:300

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NSW 7434 QLD 3168
VIC 18804 NSW 7192 QLD 4505

SCHEMATIC DESIGN
SCHOOL INFRASTRUCTURE
NSW

CAMMERAY PUBLIC SCHOOL

68 PALMER STREET,
CAMMERAY, NSW

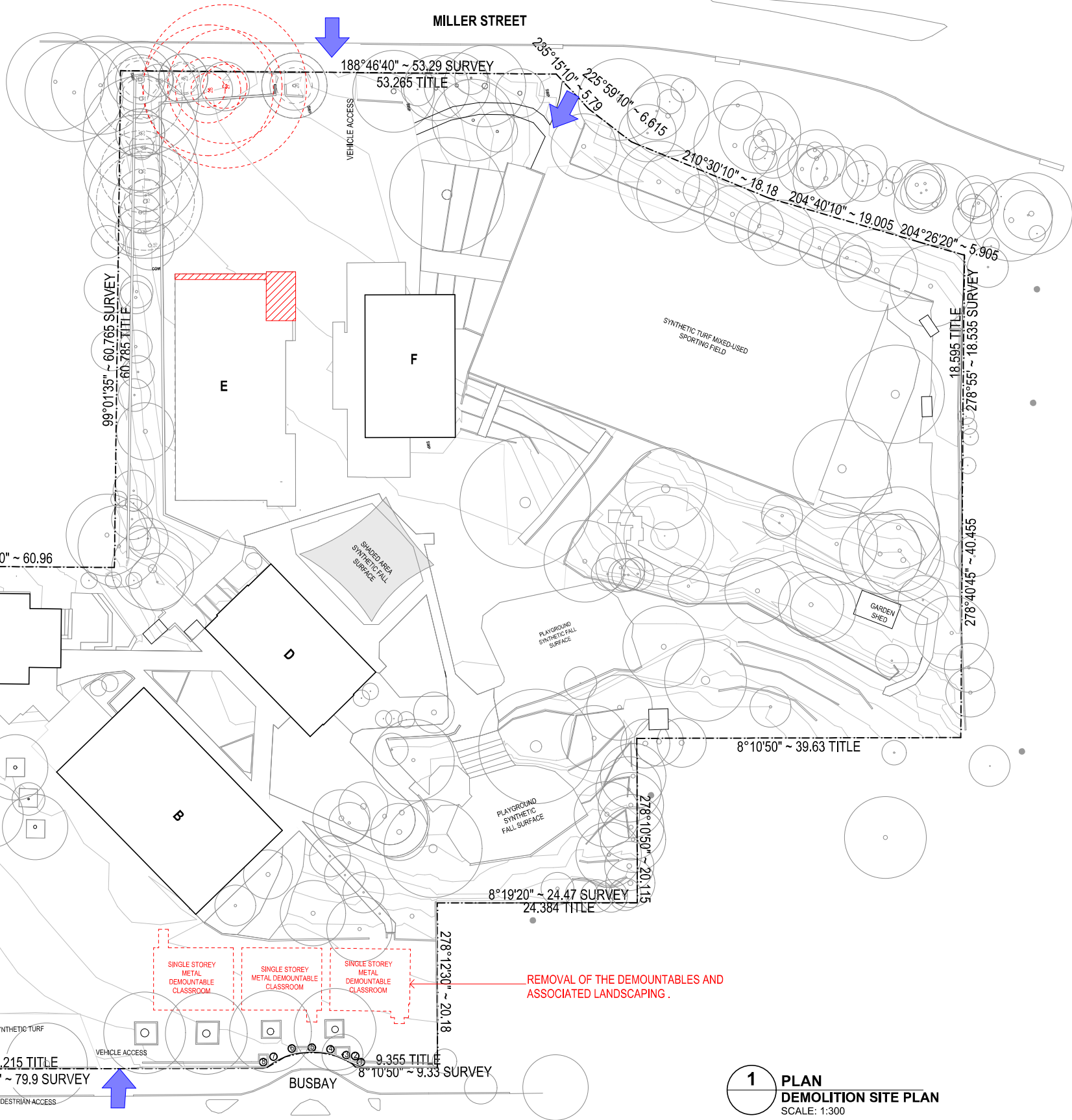
DEMOLITION SITE PLAN

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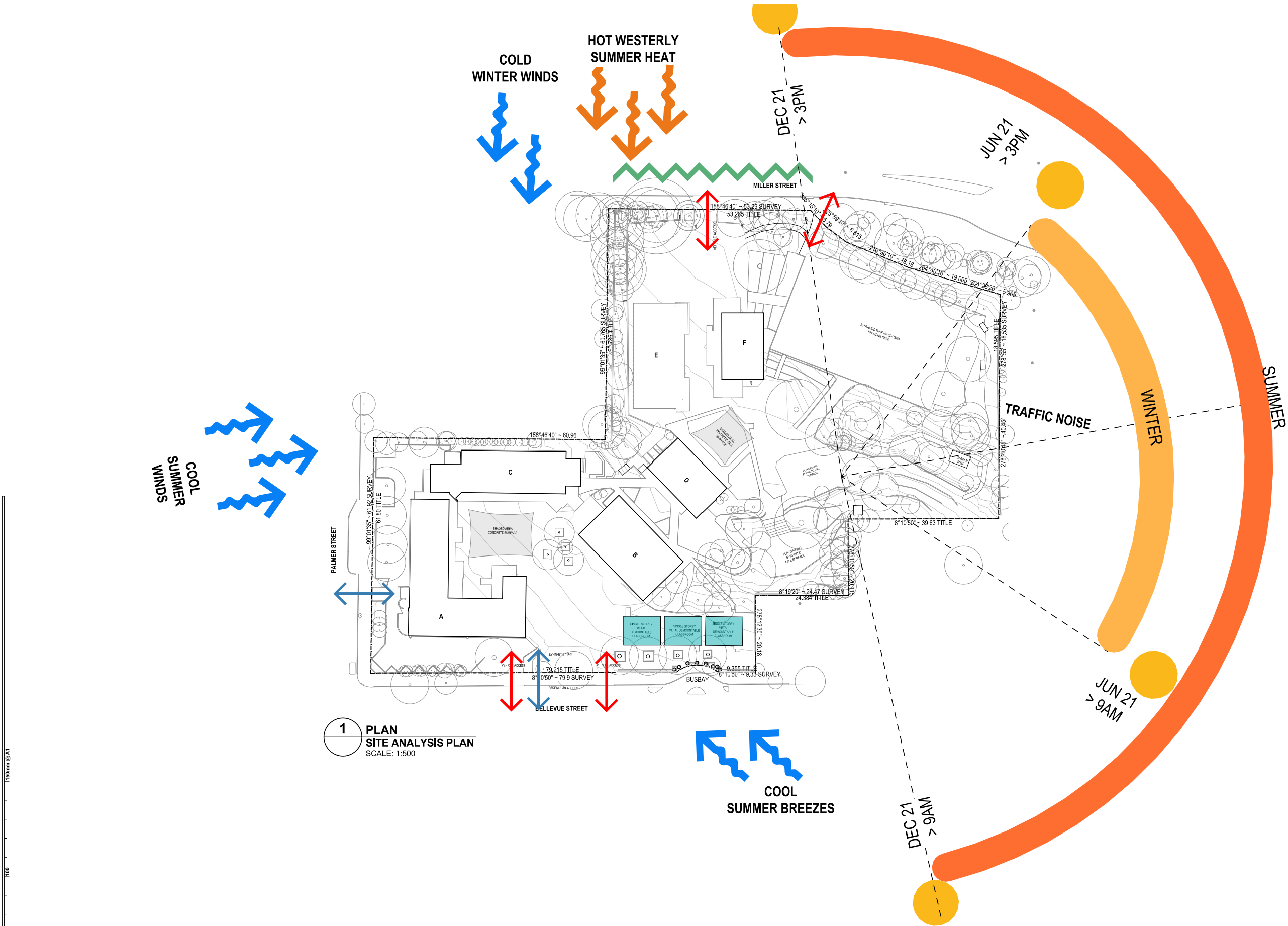
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7068CY01 JW

DRAWING NUMBER REVISION
CPS-FTA-00-00-DR-A-1002 05

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04	100% SCHEMATIC DESIGN - REVISED	11/02/2025	NK
03	100% SCHEMATIC DESIGN	10/01/2025	NK
02	80% SCHEMATIC DESIGN	13/12/2024	NK
01	50% SCHEMATIC DESIGN	03/12/2024	NK



REMOVAL OF THE DEMOUNTABLES AND
ASSOCIATED LANDSCAPING .



1 PLAN
SITE ANALYSIS PLAN
SCALE: 1:500

150mm @ A1
150
100
50
plot date: Tuesday, 11 February 2025 9:47 AM file location: BIMcloud: FTA-SYD-BIM26 - BIMcloud Basic for Archicad 26/7068CY01 Cammeray Public School

REV	DESCRIPTION	DATE	INIT.
04	100% SCHEMATIC DESIGN - REVISED	11/02/2025	NK
03	100% SCHEMATIC DESIGN	10/01/2025	NK
02	80% SCHEMATIC DESIGN	13/12/2024	NK
01	50% SCHEMATIC DESIGN	03/12/2024	NK

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QLD 3313
NSW 8371 QLD 3817
NSW 7434 QLD 4528
NSW 7190 QLD 4500

SCHEMATIC DESIGN
SCHOOL INFRASTRUCTURE
NSW
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68 PALMER STREET,
CAMMERAY, NSW

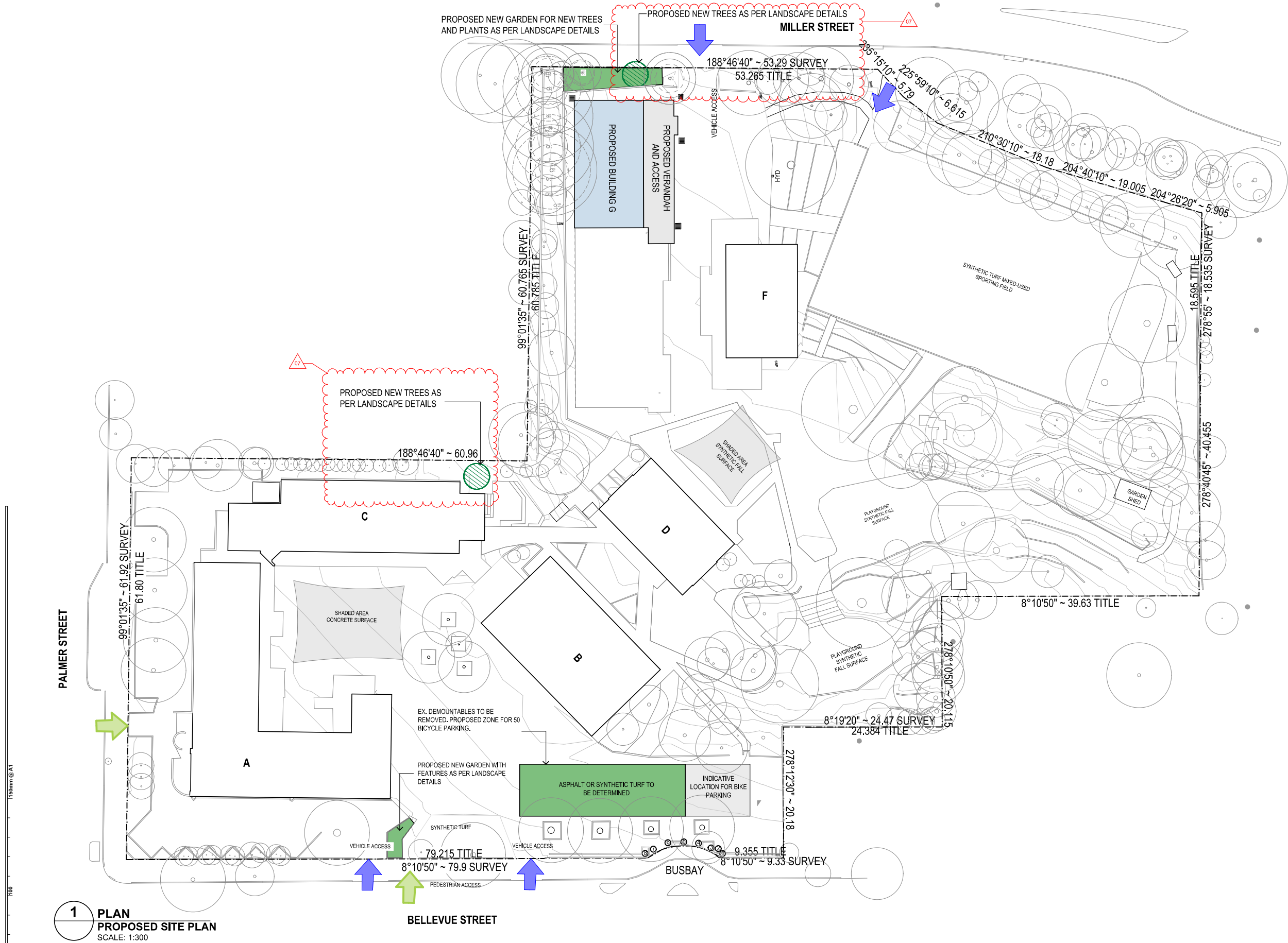
SITE ANALYSIS PLAN
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PROJECT NUMBER
7068CY01

DIRECTOR
JW

DRAWING NUMBER
CPS-FTA-00-00-DR-A-1003

CHECKED
REVISION
04



1 PLAN
PROPOSED SITE PLAN
SCALE: 1:300

SITE PLAN LEGEND	
	BOUNDARY LINE
	MINOR CONTOUR
	MAJOR CONTOUR
	EXISTING BUILDING
	EXTENT OF HARD SURFACES
	LINE OF ROOF ABOVE
	FENCE LINE
	EXISTING TREE
	PROPOSED TREE

07	TENDER ADDENDUM	04/03/2025	NK
06	100% SCHEMATIC DESIGN - REVISED	21/02/2025	NK
05	100% SCHEMATIC DESIGN - REVISED	11/02/2025	NK
04	100% SCHEMATIC DESIGN	29/01/2025	NK
03	100% SCHEMATIC DESIGN	10/01/2025	NK
02	80% SCHEMATIC DESIGN	13/12/2024	NK
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P2	FOR INFORMATION	30/09/2024	NK
P1	FOR INFORMATION	20/09/2024	NK
REV.	DESCRIPTION	DATE	INIT.

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Paul Siskane, fra NSW 7190 QLD 4168
Ryan Lovelock, fra QLD 4505

PROJECT CLIENT / PHASE
SCHEMATIC DESIGN
SCHOOL INFRASTRUCTURE
NSW

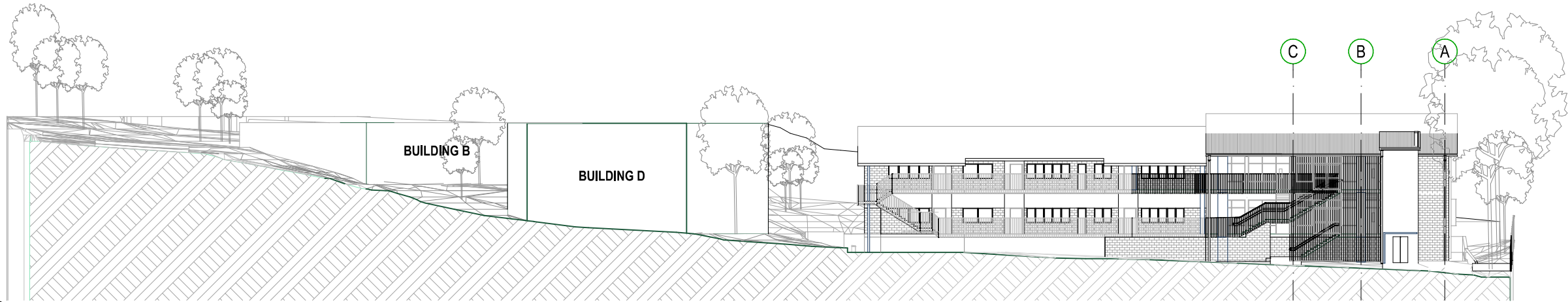
PROJECT CLIENT / PHASE
CAMMERAY PUBLIC SCHOOL

ADDRESS
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CAMMERAY, NSW

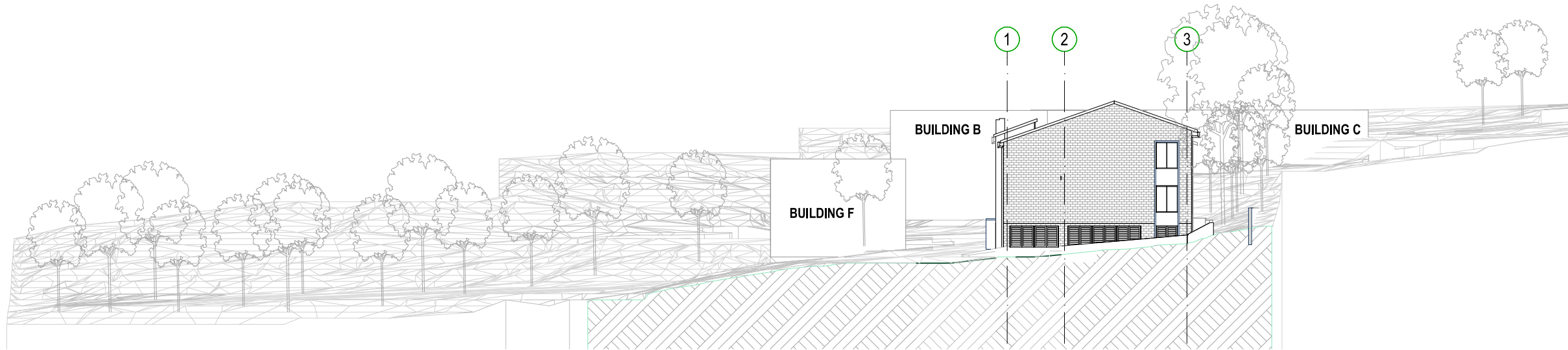
PROPOSED SITE PLAN

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PROJECT NUMBER	DIRECTOR	CHECKED
7068CY01	JW	
DRAWING NUMBER	REVISION	
CPS-FTA-00-00-DR-A-1101		07



1 SITE SECTION
LONG SITE SECTION
SCALE: 1:200



1 SITE SECTION
SHORT SITE SECTION
SCALE: 1:200

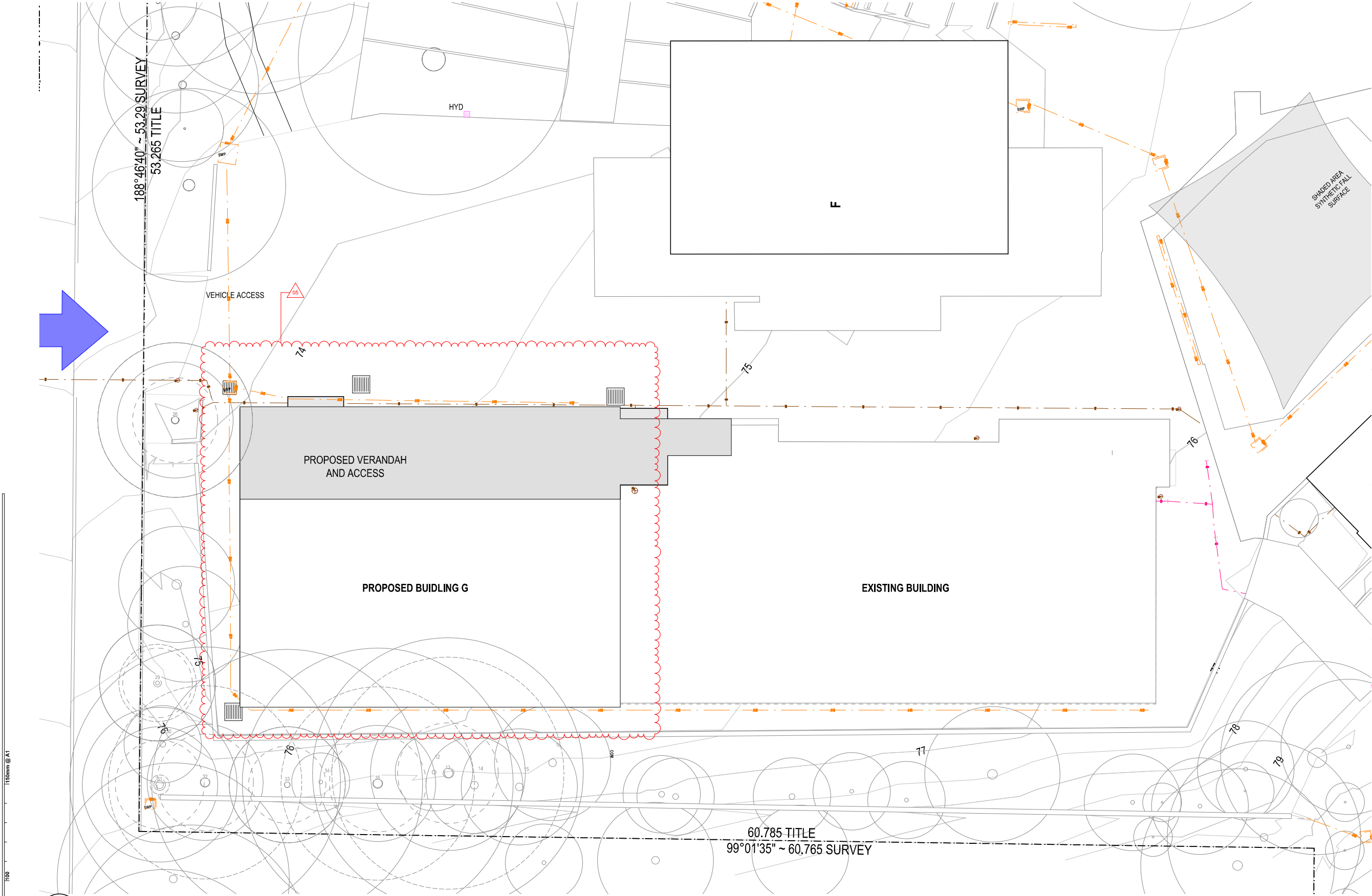
150mm @ A1
150
100
50
plot date: Tuesday, 11 February 2025 9:47 AM file location: B:\Mcloud: FTA-SYD-BIM26 - BIMcloud Basic for Archicad 26\7068CY01 Cammeray Public School

REV.	DESCRIPTION	DATE	INIT.
04	100% SCHEMATIC DESIGN - REVISED	11/02/2025	NK
03	100% SCHEMATIC DESIGN	10/01/2025	NK
02	80% SCHEMATIC DESIGN	13/12/2024	NK
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Paul Spikavou Fraile NSW 7190 QLD 3168
Ryan Lovelock Fraile QLD 4505

PROJECT PHASE
CLIENT
PROJECT
ADDRESS
CAMMERAY PUBLIC SCHOOL
68 PALMER STREET,
CAMMERAY, NSW

SITE SECTIONS
Figured dimensions take precedence over
scale dimensions. Contractors must verify
all dimensions on site before commencing
any work or making shop drawings.
PROJECT NUMBER
7068CY01
DIRECTOR
JW
DRAWING NUMBER
CPS-FTA-00-00-DR-A-1201
CHECKED
REVISION
04



SITE WORKS PLAN LEGEND

- SLAB LABEL
MATERIAL CODE (REFER TO MATERIAL LEGEND)
XX00 : XX00 FINISH CODE (REFER TO FINISHES LEGEND)
RL: 0.000 FALL IN CEILING (IF RAKING)
0.000
PROPOSED SPOT LEVEL
EXISTING SPOT LEVEL
SWP STORMWATER PIT
SEWER
STORMWATER
GAS LINE

1 PLAN
EXTERNAL WORKS PLAN
SCALE: 1:100

REV.	DESCRIPTION	DATE	INIT.
05	TENDER ADDENDUM	28/02/2025	NK
04	100% SCHEMATIC DESIGN - REVISED	11/02/2025	NK
03	100% SCHEMATIC DESIGN	10/01/2025	NK
02	80% SCHEMATIC DESIGN	13/12/2024	NK
01	50% SCHEMATIC DESIGN	03/12/2024	NK

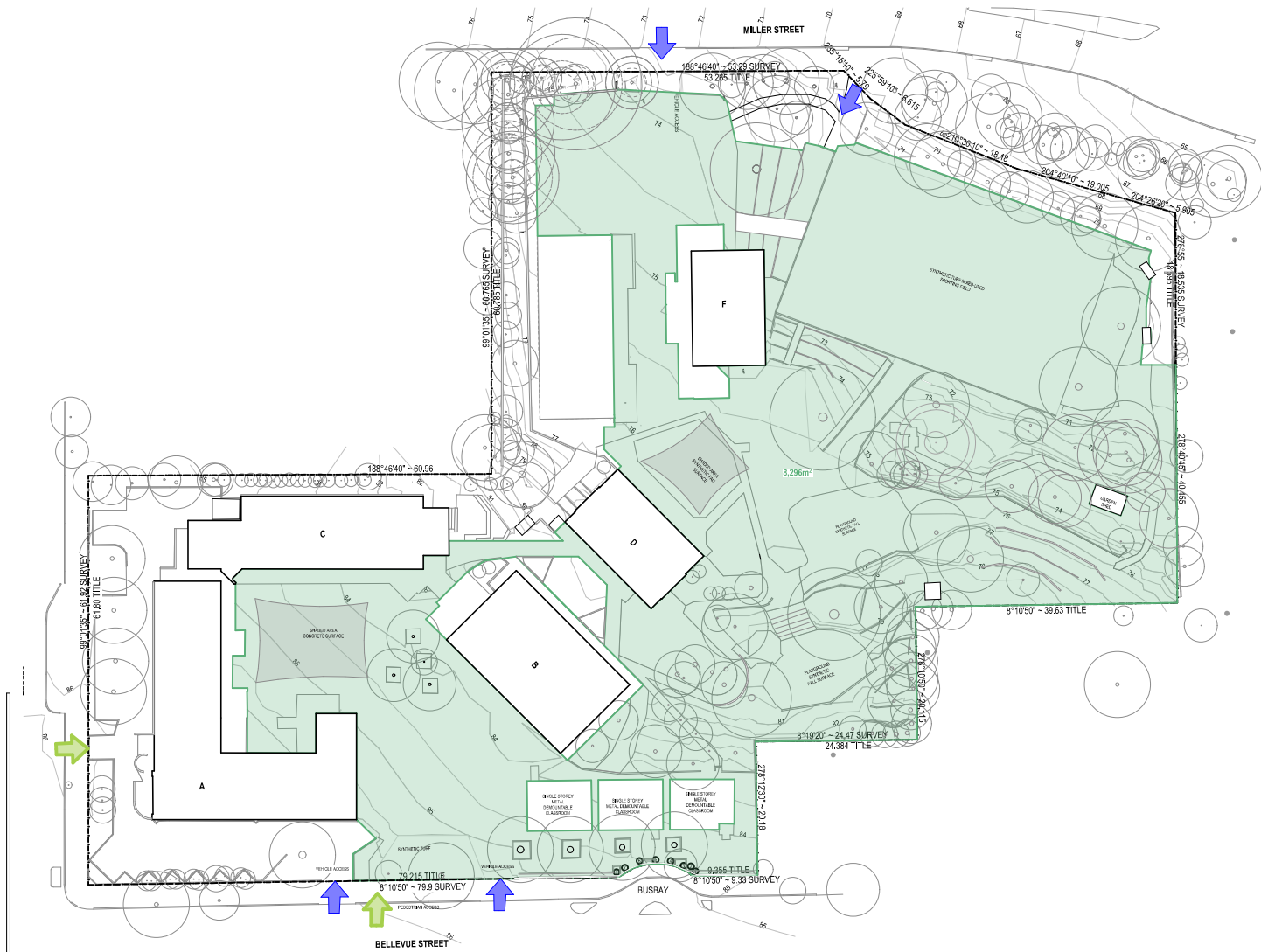
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John Ward, rita, NSW 8371 QLD 3817
Katerina Christopoulos, rita, NSW 7434 QLD 4528
Paul Spikav, rita, NSW 7160 QLD 3168
Ryan Lovelock, rita, QLD 4505

PROJECT CLIENT PHASE
PROJECT CLIENT PHASE
SCHEMATIC DESIGN
SCHOOL INFRASTRUCTURE
NSW
CAMMERAY PUBLIC SCHOOL
68 PALMER STREET,
CAMMERAY, NSW

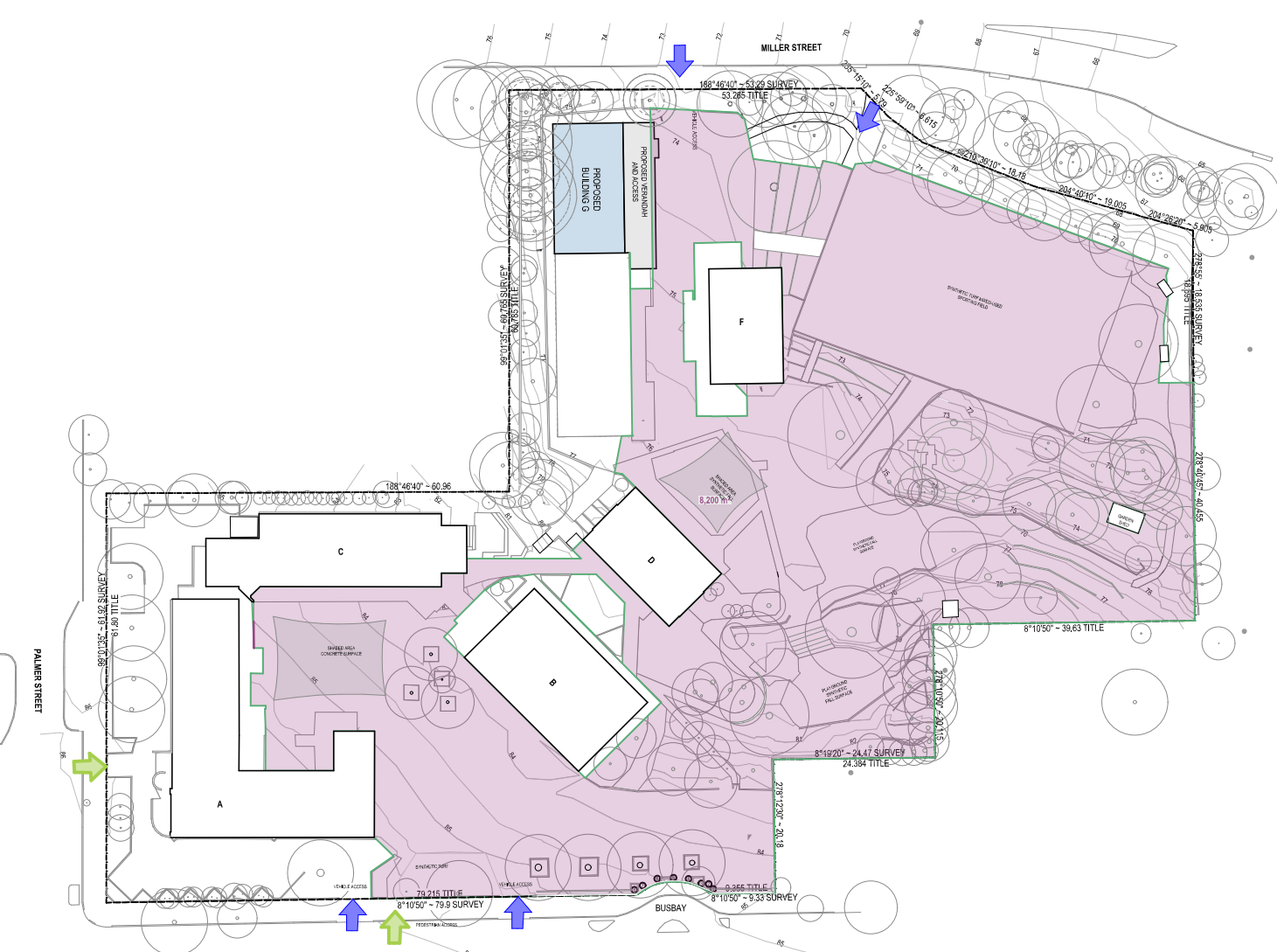
DRAWING
EXTERNAL WORKS PLAN

Figured dimensions take precedence over
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any work or making shop drawings.

PROJECT NUMBER	DIRECTOR	CHECKED
7068CY01	JW	
DRAWING NUMBER	REVISION	
CPS-FTA-00-00-DR-A-1401	05	



1 PLAN
EXISTING PLAYSPACE
SCALE: 1:500



1 PLAN
PROPOSED PLAYSPACE
SCALE: 1:500

PLAYSPACE LEGEND

- EXISTING OUTDOOR PLAYSPACE AREA
- PROPOSED OUTDOOR PLAYSPACE AREA

EXISTING PLAYSPACE AREA CALCULATIONS

ZONE	AREA	STUDENTS/SQM
EXISTING OUTDOOR PLAYSPACE AREA	8,296m ²	12.88m ² /STUDENT*

*STUDENT/SQM CALCULATION IS BASED ON A EXISTING STUDENT POPULATION OF 644

PROPOSED PLAYSPACE AREA CALCULATIONS

ZONE	AREA	STUDENTS/SQM
PROPOSED OUTDOOR PLAYSPACE AREA	7,916m ²	11.89m ² /STUDENT*

*STUDENT/SQM CALCULATION IS BASED ON A PROPOSED STUDENT POPULATION OF 667

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Paul Sakuma rsl NSW 7160 QLD 4505
Ryan Lovelock rsl

SCHEMATIC DESIGN
SCHOOL INFRASTRUCTURE
NSW

CAMMERAY PUBLIC SCHOOL

68 PALMER STREET,
CAMMERAY, NSW

PLAYSCAPE CALCULATION

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PROJECT NUMBER 7068CY01 DIRECTOR JW

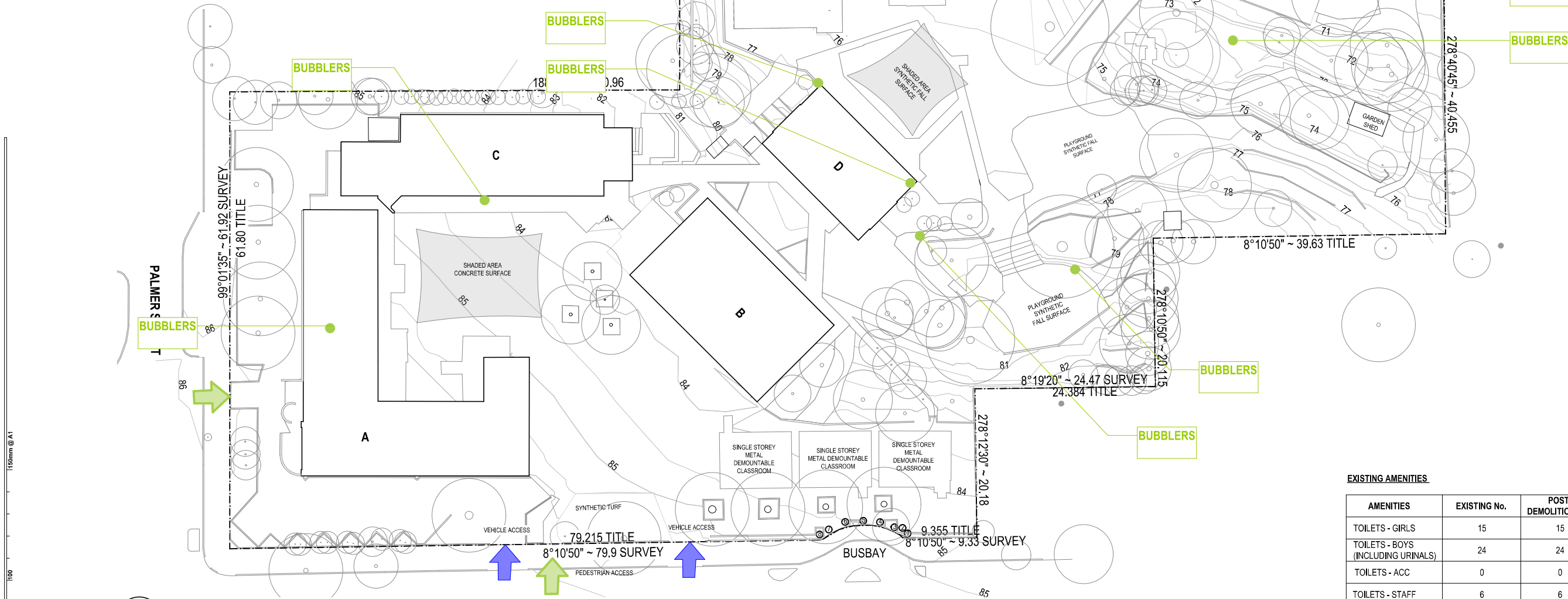
DRAWING NUMBER CPS-FTA-00-00-DR-A-1601 REVISION 02

TOILETS:
IN GENERAL:
GIRLS - WC -14 + 1 DISABLED
BOYS - WC - 6
URINALS - 17+ 1 DISABLED
ACCESS WC - 2
UNISEX - 4
PARENT - 1
STAFF ACCESS TOILET - 1
STAFF HWO - 6

HALL -
GIRLS - WC - 2
BOYS - WC - 1
URINALS - 3
ACCESS WC - 1

BUBLERS / DRINKING FACILITIES: 14

SITE PLAN LEGEND	
	BOUNDARY LINE
	MINOR CONTOUR
	MAJOR CONTOUR
	EXISTING BUILDING
	EXTENT OF HARD SURFACES
	LINE OF ROOF ABOVE
	FENCE LINE
	EXISTING TREE



EXISTING AMENITIES

AMENITIES	EXISTING No.	POST DEMOLITION No.	EFSG No.	GAP
TOILETS - GIRLS	15	15	20	-5
TOILETS - BOYS (INCLUDING URINALS)	24	24	18	+6
TOILETS - ACC	0	0	1	-1
TOILETS - STAFF	6	6	5	+1
BUBBLER	14	14	12	+2

1 PLAN
EXISTING SITE AMENITIES
SCALE: 1:300

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Justin Eddy	NSW 7434	QLD 3817
John Ward	NSW 7192	QLD 4528
Katerina Christopoulos		QLD 3168
Paul Skelton		QLD 4505
Ryan Lovelock		

SCHEMATIC DESIGN
SCHOOL INFRASTRUCTURE
NSW

CAMMERAY PUBLIC SCHOOL

68 PALMER STREET,
CAMMERAY, NSW

AMENITIES STRATEGY

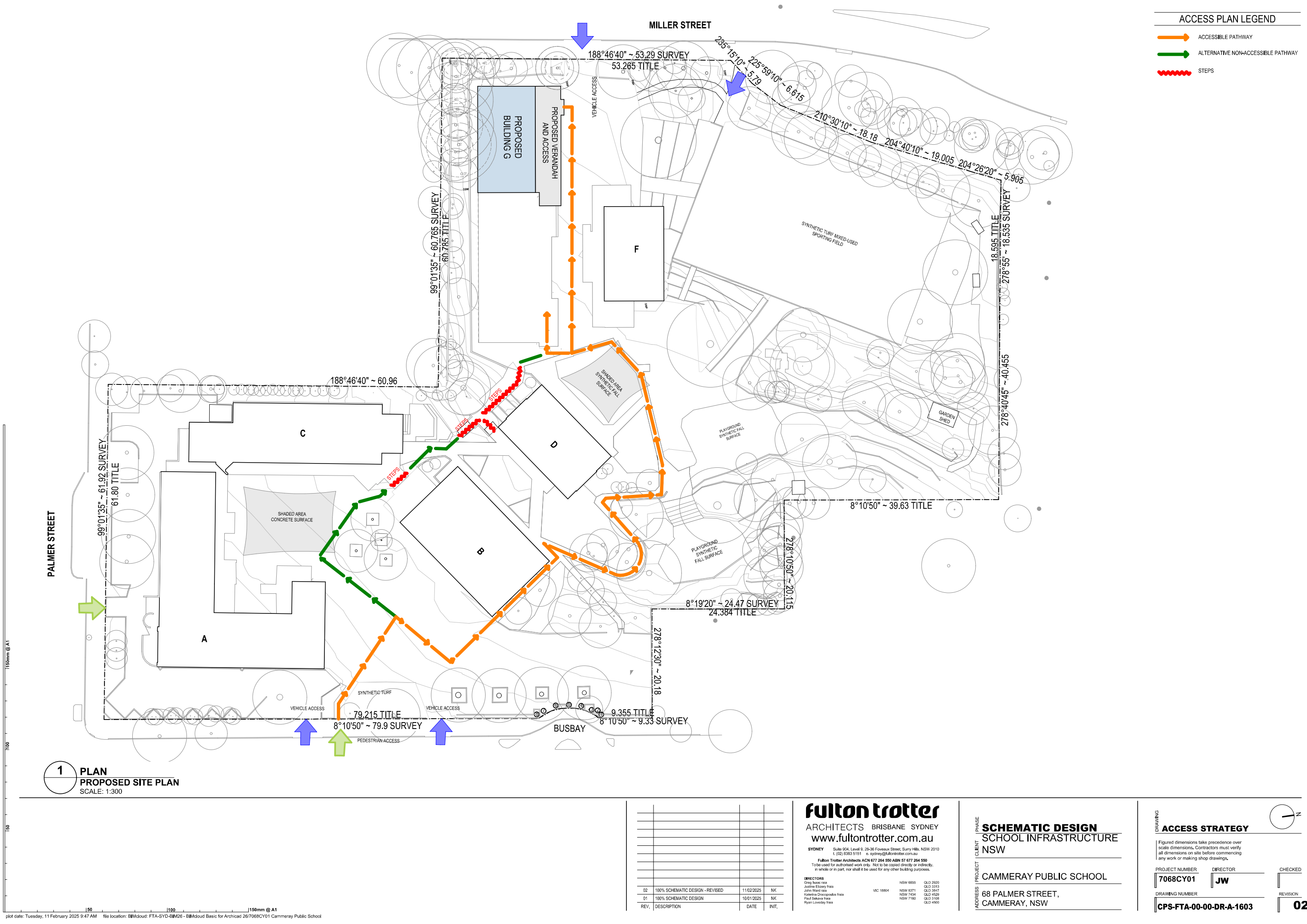
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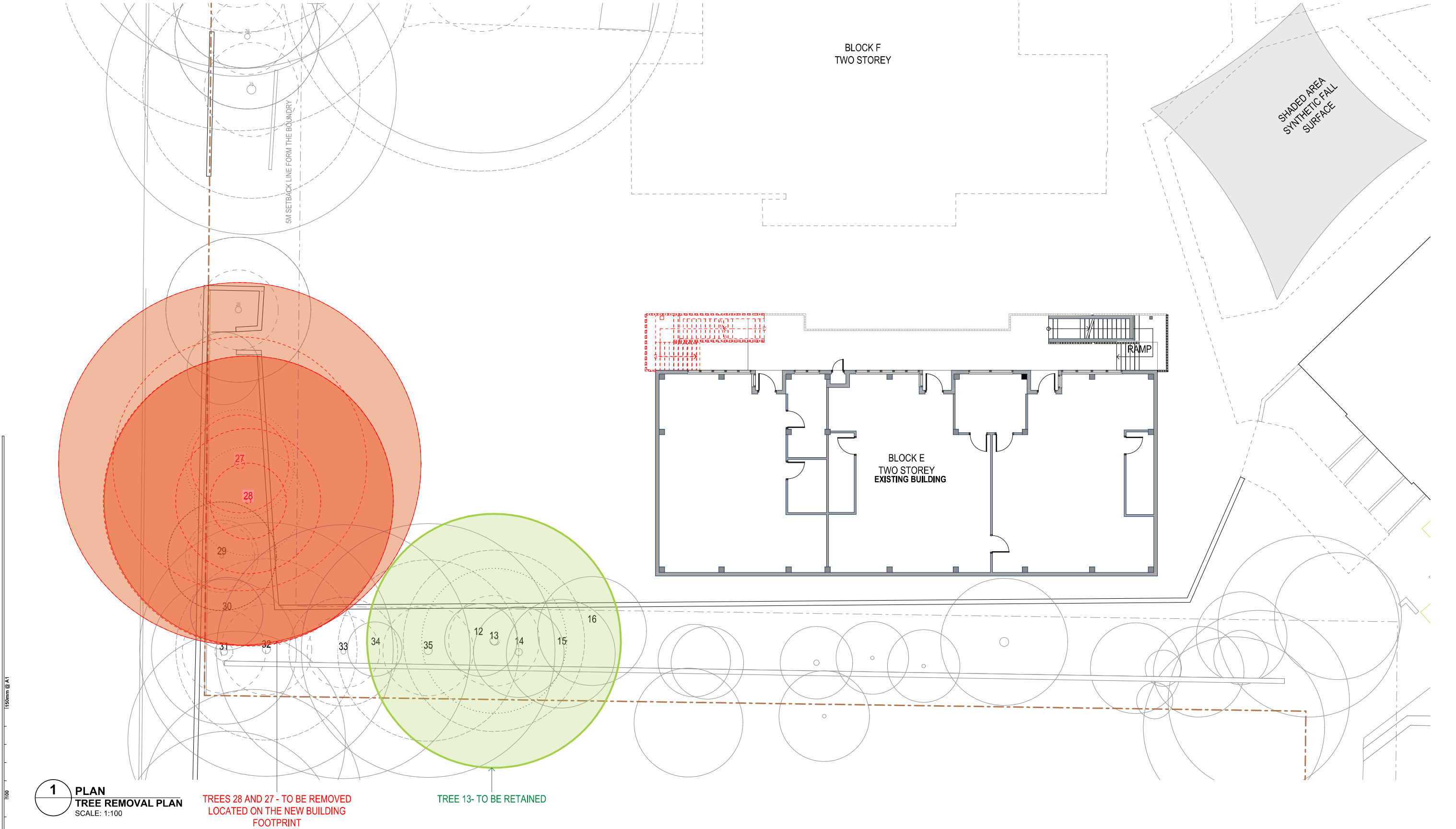
PROJECT NUMBER
7068CY01

DIRECTOR
JW

DRAWING NUMBER
CPS-FTA-00-00-DR-A-1602

REVISION
02





REV.	DESCRIPTION	DATE	INIT.
02	100% SCHEMATIC DESIGN - REVISED	11/02/2025	NK
01	100% SCHEMATIC DESIGN	10/01/2025	NK

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John Ward rail NSW 8371 QLD 3817
Katerina Christopoulos rail NSW 7434 QLD 4528
Paul Spikow rail NSW 7190 QLD 3168
Ryan Lovelock rail QLD 4505

SCHEMATIC DESIGN
SCHOOL INFRASTRUCTURE
NSW
CAMMERAY PUBLIC SCHOOL
68 PALMER STREET,
CAMMERAY, NSW

TREE REMOVAL PLAN
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any work or making shop drawings.

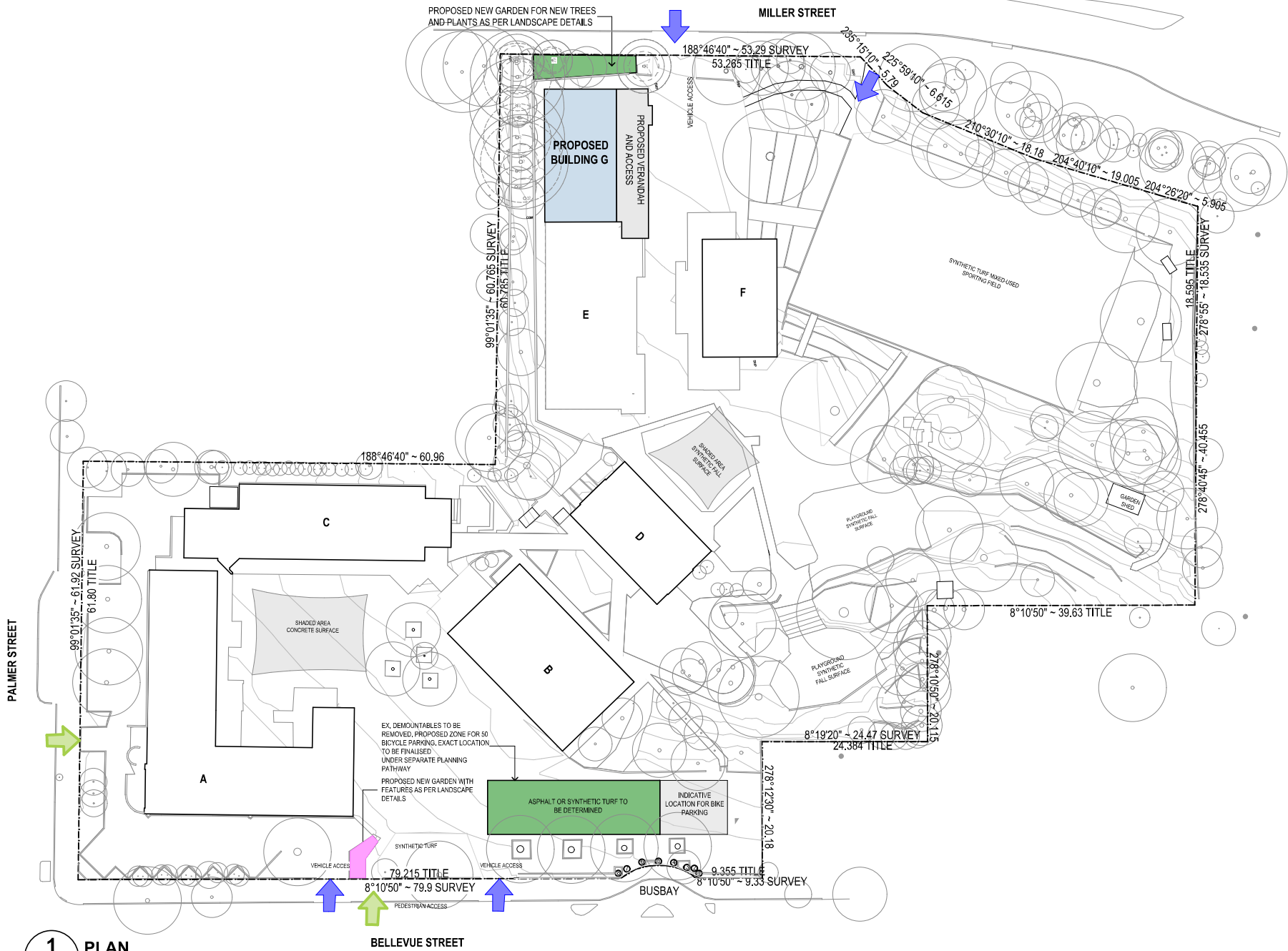
PROJECT NUMBER **7068CY01** DIRECTOR **JW** CHECKED
DRAWING NUMBER **CPS-FTA-00-00-DR-A-1604** REVISION **02**

150mm @ A1
1100
150
1100
150mm @ A1

**PROPOSED LOCATION FOR
INDIGENOUS ARTWORK STRATEGY:**

CWC LANDSAPE FEATURE

AT THE BELLEVUE STREET ENTRANCE



1 PLAN
PROPOSED SITE PLAN
SCALE: 1:400

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Ryan Lovelock frais QLD 4500

SCHEMATIC DESIGN
SCHOOL INFRASTRUCTURE
NSW

CAMMERAY PUBLIC SCHOOL

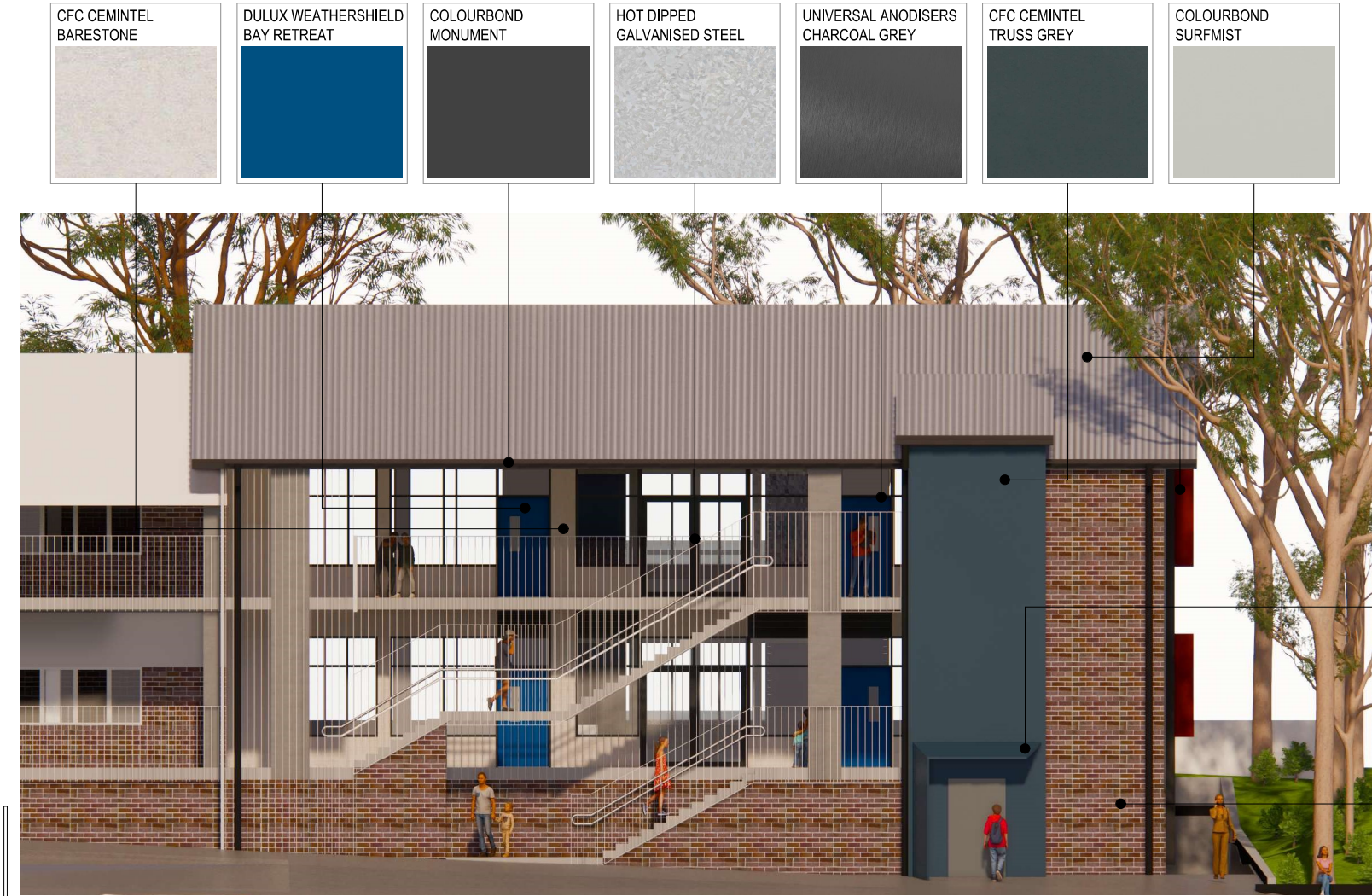
68 PALMER STREET,
CAMMERAY, NSW

**INDIGENOUS ARTWORK
STRATEGY**

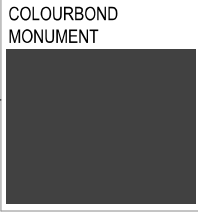
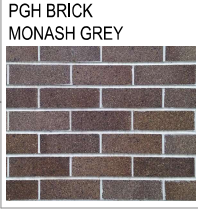
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7068CY01 **JW**

DRAWING NUMBER REVISION
CPS-FTA-00-00-DR-A-1610 **03**



150mm @ A1
100
50



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Katerina Christopoulos, Neil
Paul Spillars, Neil
Ryan Lovelock, Neil
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QLD 3313
NSW 8371 QLD 3847
NSW 7434 QLD 4528
NSW 7190 QLD 3168
QLD 4505

SCHEMATIC DESIGN
SCHOOL INFRASTRUCTURE
NSW

CAMMERAY PUBLIC SCHOOL

68 PALMER STREET,
CAMMERAY, NSW

EXTERNAL MATERIAL AND FINISHES

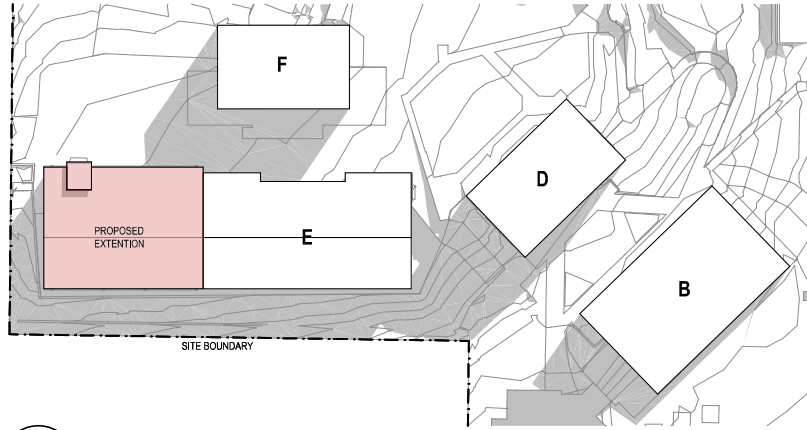
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PROJECT NUMBER
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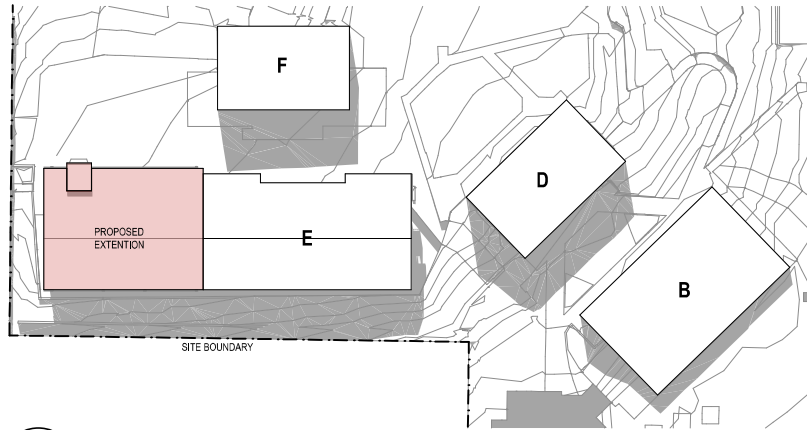
DIRECTOR
JW

DRAWING NUMBER
CPS-FTA-00-00-DR-A-1630

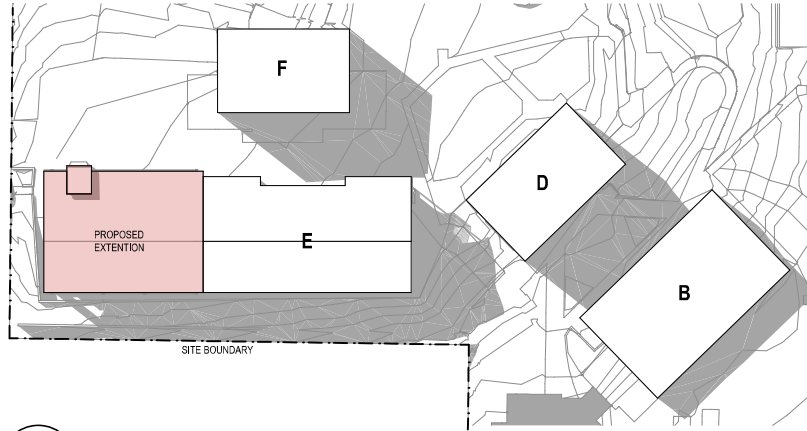
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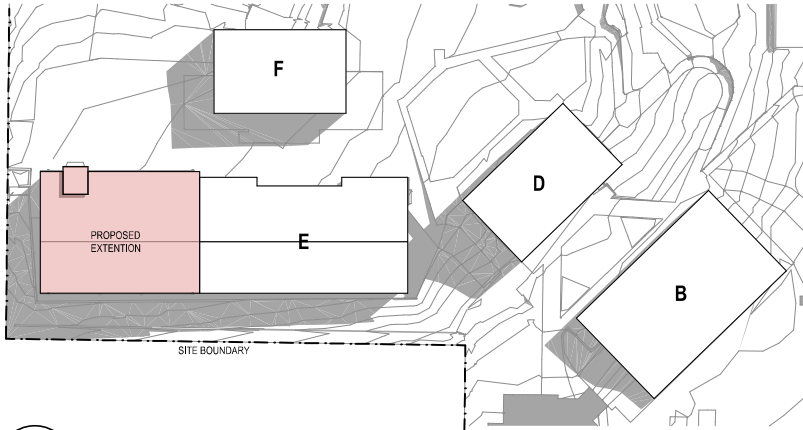
1 **PLAN**
JUNE 21 - 9AM
SCALE: 1:500



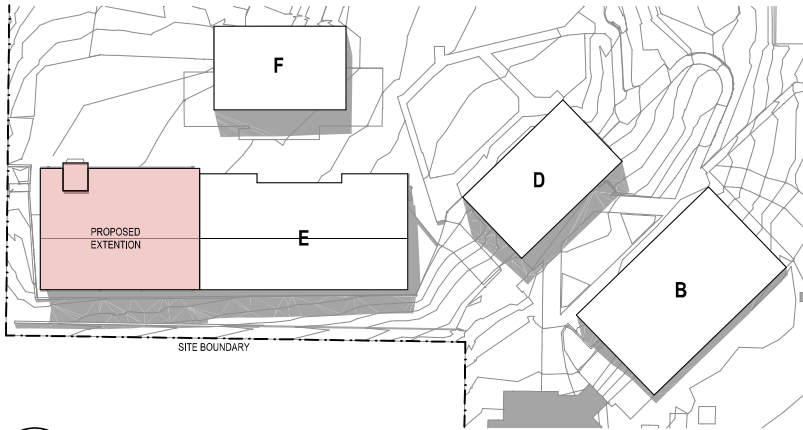
2 **PLAN**
JUN 21 - 12PM
SCALE: 1:500



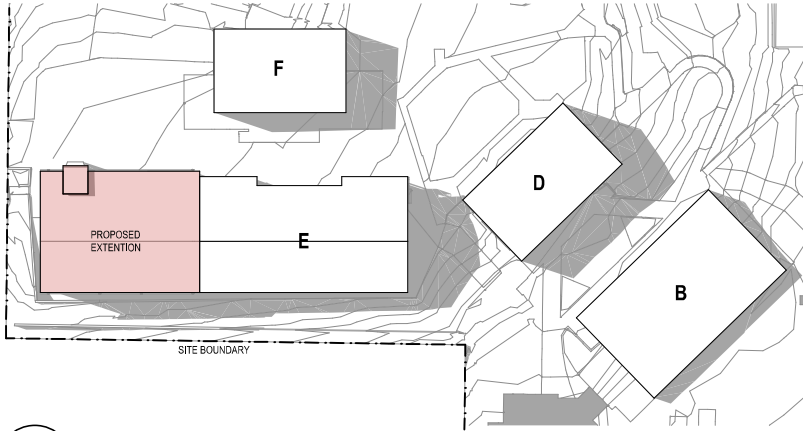
3 **PLAN**
JUNE 21 - 3PM
SCALE: 1:500



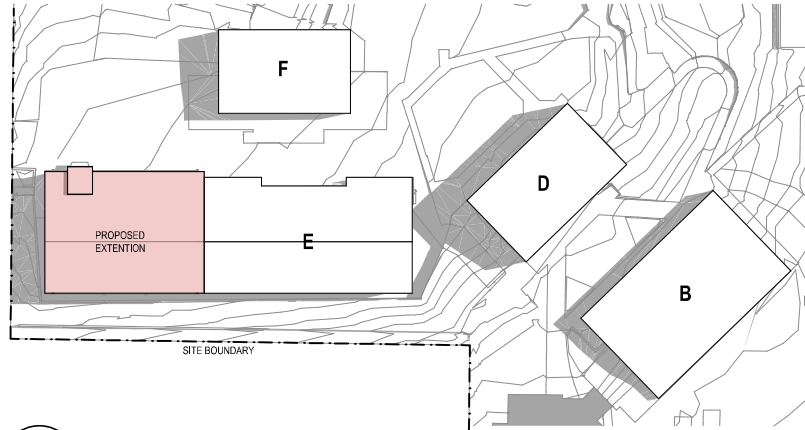
4 **PLAN**
SEPTEMBER 22 - 9AM
SCALE: 1:500



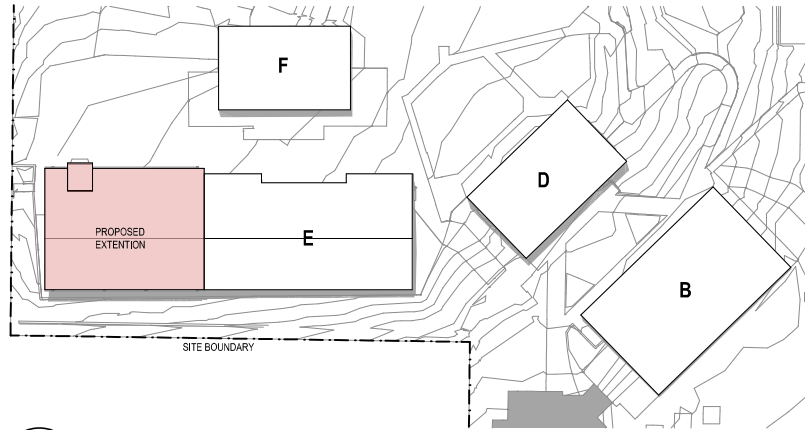
5 **PLAN**
SEPTEMBER 22 - 12PM
SCALE: 1:500



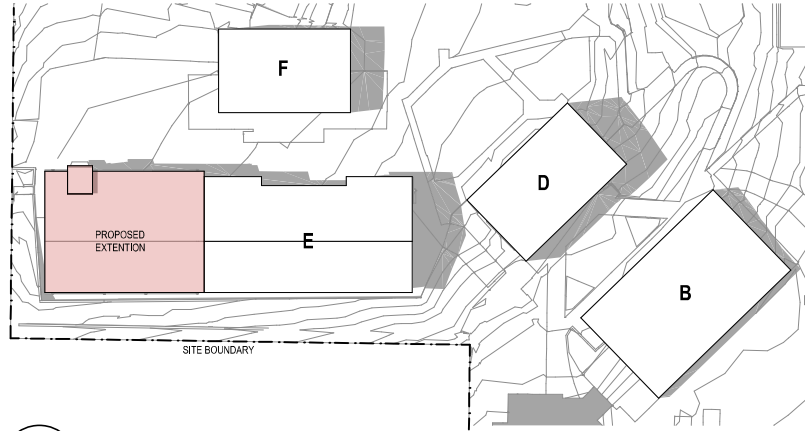
6 **PLAN**
SEPTEMBER 22 - 3PM
SCALE: 1:500



7 **PLAN**
DECEMBER 21 - 9AM
SCALE: 1:500



8 **PLAN**
DECEMBER 21 - 12PM
SCALE: 1:500



9 **PLAN**
DECEMBER 21 - 3PM
SCALE: 1:500

150mm @ A1
150
100
50

REV.	DESCRIPTION	DATE	INIT.
03	100% SCHEMATIC DESIGN - REVISED	11/02/2025	NK
02	100% SCHEMATIC DESIGN	10/01/2025	NK
01	80% SCHEMATIC DESIGN	13/12/2024	NK

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Katerina Christopoulos frais NSW 7434 QLD 4528
Paul Skelton frais NSW 7190 QLD 3168
Ryan Lovelock frais QLD 4505

SCHEMATIC DESIGN
SCHOOL INFRASTRUCTURE
NSW
CAMMERAY PUBLIC SCHOOL
68 PALMER STREET,
CAMMERAY, NSW

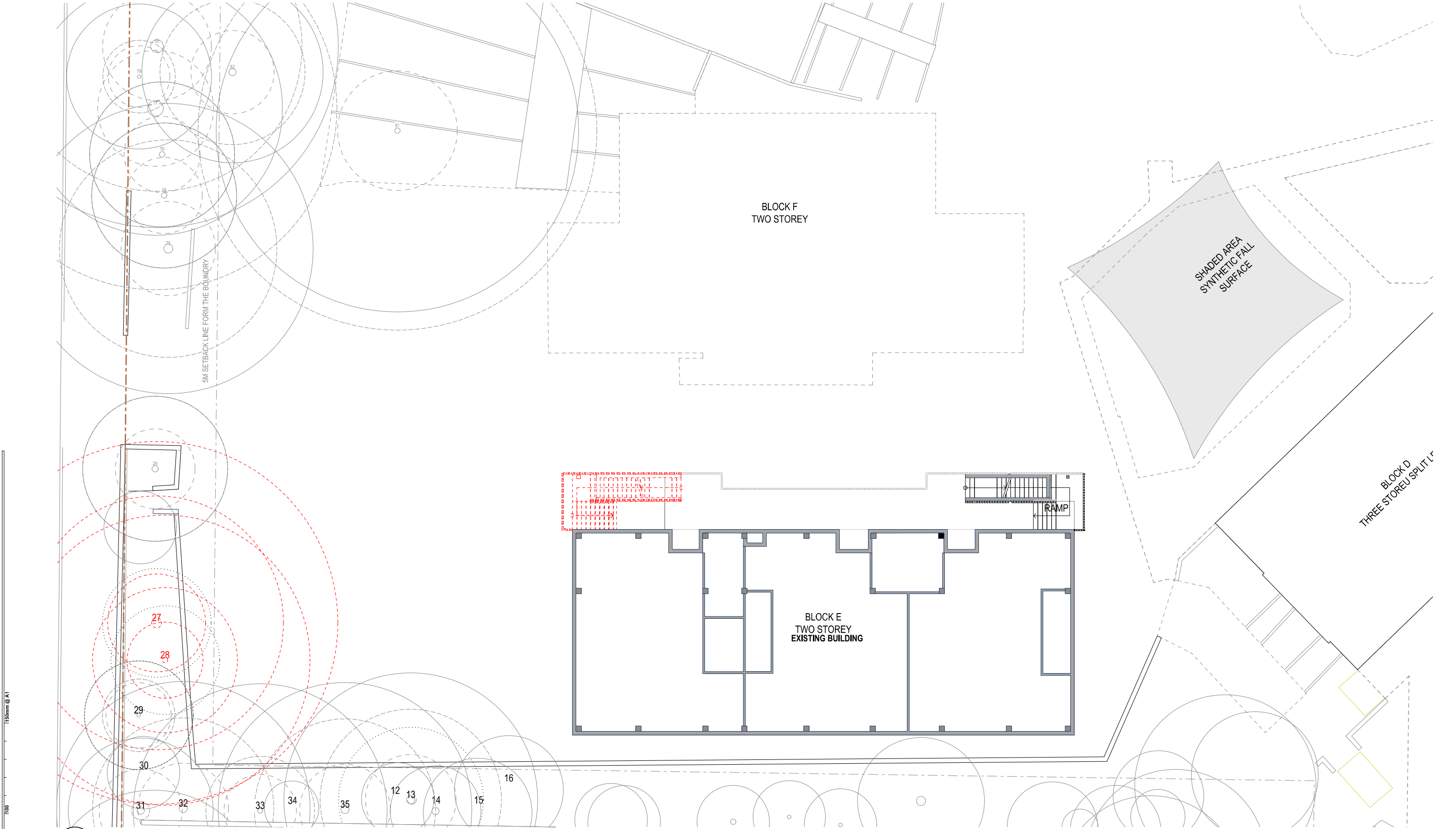
SHADOW DIAGRAM
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PROJECT NUMBER
7068CY01

DIRECTOR
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CPS-FTA-00-00-DR-A-1640

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03



REV.	DESCRIPTION	DATE	INIT.
06	100% SCHEMATIC DESIGN - REVISED	11/02/2025	NK
05	100% SCHEMATIC DESIGN	10/01/2025	NK
04	80% SCHEMATIC DESIGN	13/12/2024	NK
03	50% SCHEMATIC DESIGN	03/12/2024	NK
02	SCHEMATIC DESIGN WIP	28/11/2024	LS

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Ryan Lovelock rail QLD 4505

SCHEMATIC DESIGN
SCHOOL INFRASTRUCTURE
NSW

CAMMERAY PUBLIC SCHOOL

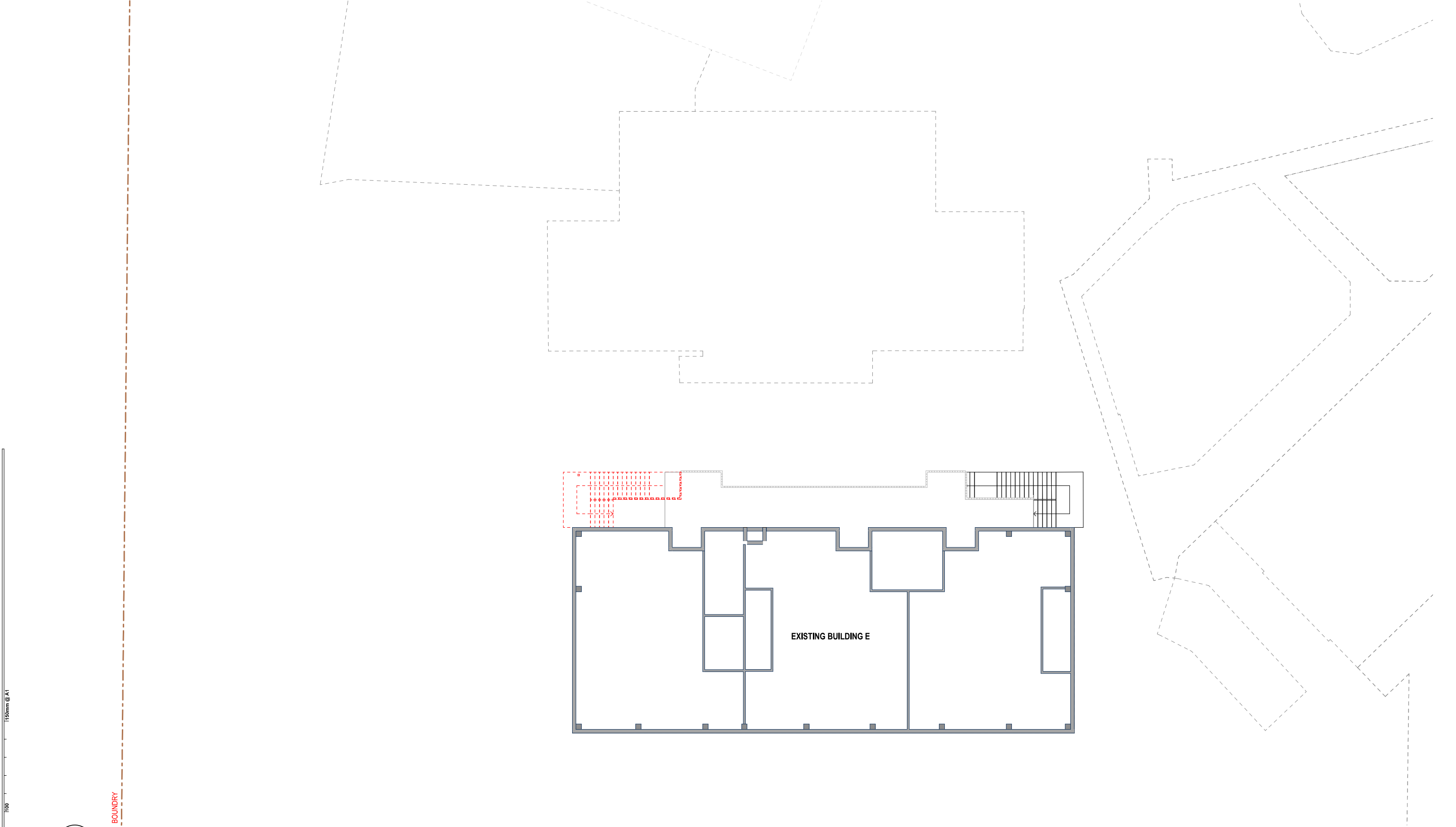
68 PALMER STREET,
CAMMERAY, NSW

BUILDING E - DEMOLITION
GROUND FLOOR PLAN

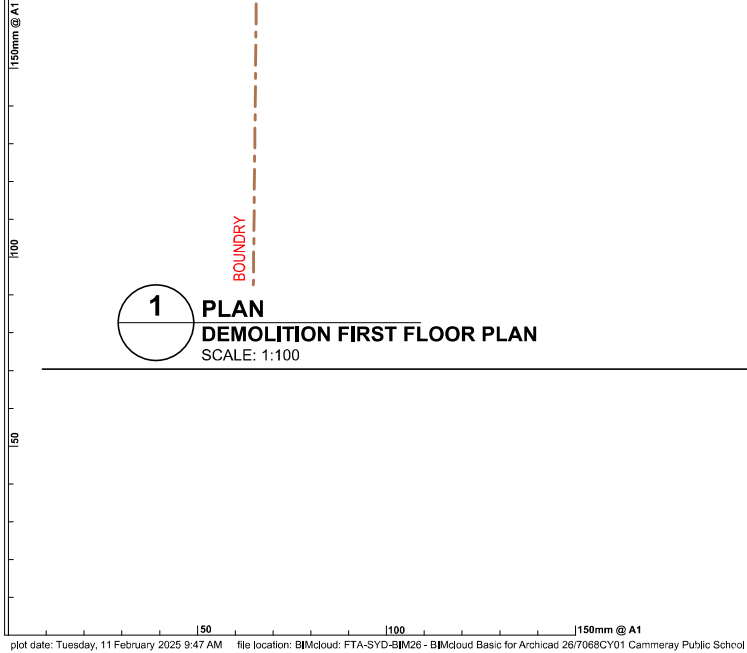
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PROJECT NUMBER **7068CY01** **DIRECTOR** **JW** **CHECKED**

DRAWING NUMBER **CPS-FTA-B00E-GF-DR-A-2001** **REVISION** **06**



1 **PLAN**
DEMOLITION FIRST FLOOR PLAN
SCALE: 1:100



REV.	DESCRIPTION	DATE	INIT.
05	100% SCHEMATIC DESIGN - REVISED	11/02/2025	NK
04	100% SCHEMATIC DESIGN	10/01/2025	NK
03	80% SCHEMATIC DESIGN	13/12/2024	NK
02	50% SCHEMATIC DESIGN	03/12/2024	NK
01	SCHEMATIC DESIGN WIP	28/11/2024	LS

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Paul Spikav fraile NSW 7190 QLD 3168
Ryan Lovelady fraile QLD 4505

SCHEMATIC DESIGN
SCHOOL INFRASTRUCTURE
NSW

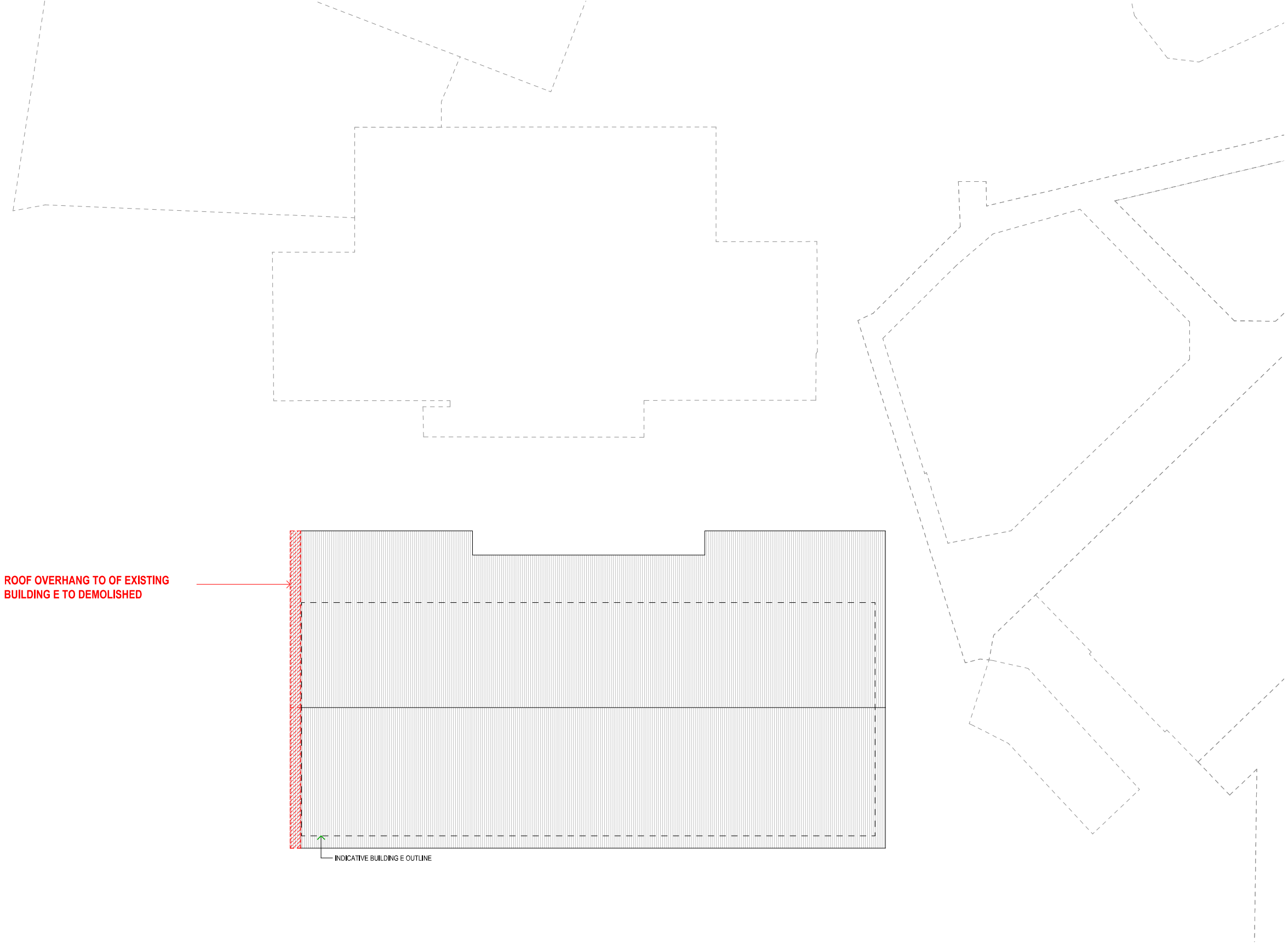
CAMMERAY PUBLIC SCHOOL

68 PALMER STREET,
CAMMERAY, NSW

BUILDING E - DEMOLITION
LEVEL 1 PLAN

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PROJECT NUMBER	DIRECTOR	CHECKED
7068CY01	JW	
DRAWING NUMBER	REVISION	
CPS-FTA-B00E-L1-DR-A-2002		05



REV.	DESCRIPTION	DATE	INIT.
04	100% SCHEMATIC DESIGN - REVISED	11/02/2025	NK
03	100% SCHEMATIC DESIGN	10/01/2025	NK
02	80% SCHEMATIC DESIGN	13/12/2024	NK
01	50% SCHEMATIC DESIGN	03/12/2024	NK

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John Ward, rna
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Paul Spikav, fra
Ryan Lovelock, fra

NSW 6855
NSW 8371
NSW 7434
NSW 7190

QLD 2520
QLD 3313
QLD 3817
QLD 4528
QLD 3168
QLD 4505

ADDRESS

PROJECT

CLIENT

PHASE

SCHEMATIC DESIGN

SCHOOL INFRASTRUCTURE

NSW

CAMMERAY PUBLIC SCHOOL

68 PALMER STREET,
CAMMERAY, NSW

DRAWING

**BUILDING E - DEMOLITION
ROOF PLAN**

PROJECT NUMBER

DIRECTOR

CHECKED

7068CY01

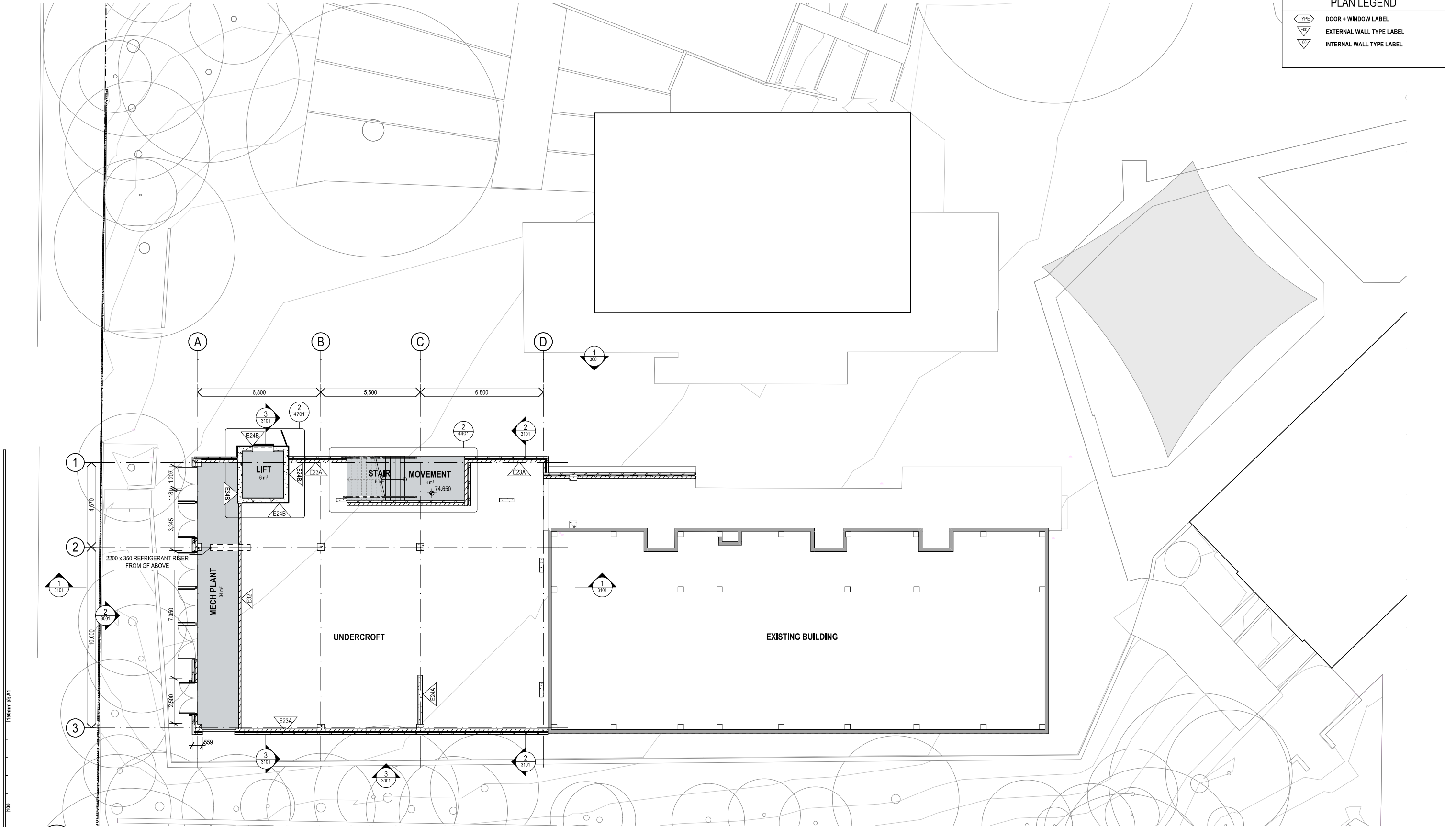
JW

DRAWING NUMBER

REVISION

CPS-FTA-B00E-LR-DR-A-2003

04



1 PLAN
PROPOSED UNDERCROFT PLAN
SCALE: 1:100

REV.	DESCRIPTION	DATE	INIT.
06	100% SCHEMATIC DESIGN - REVISED	11/02/2025	NK
05	100% SCHEMATIC DESIGN	29/01/2025	NK
04	100% SCHEMATIC DESIGN	10/01/2025	NK
03	80% SCHEMATIC DESIGN	13/12/2024	NK
02	50% SCHEMATIC DESIGN	03/12/2024	NK
01	SCHEMATIC DESIGN WIP	28/11/2024	LS

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John Ward, Kate
Katerina Christopoulos, Paul
Paul Sedano, Ryan
Ryan Lovelock, Paul

NSW 6855 QLD 2520
QLD 3313 QLD 3817
NSW 8371 NSW 7434
VIC 18804 NSW 7192 QLD 3168
QLD 4505

SCHEMATIC DESIGN
SCHOOL INFRASTRUCTURE
NSW

CAMMERAY PUBLIC SCHOOL

**68 PALMER STREET,
CAMMERAY, NSW**

**BUILDING G - UNDERCROFT
LEVEL**

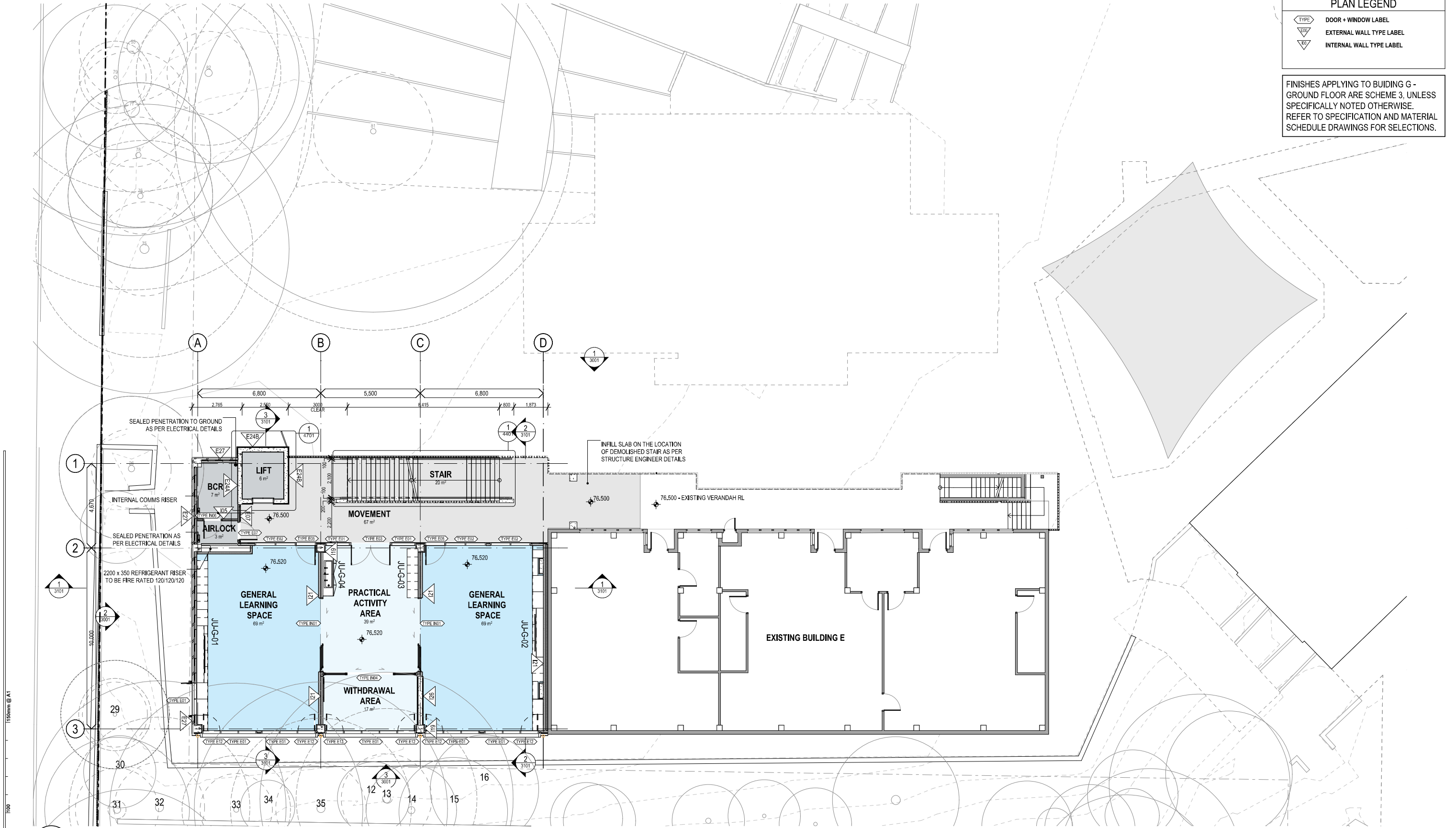
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PROJECT NUMBER
7068CY01

DIRECTOR
JW

DRAWING NUMBER
CPS-FTA-B00G-LG-DR-A-2100

REVISION
06



PLAN LEGEND

TYPE

DOOR + WINDOW LABEL

E10

EXTERNAL WALL TYPE LABEL

E01

INTERNAL WALL TYPE LABEL

FINISHES APPLYING TO BUILDING G - GROUND FLOOR ARE SCHEME 3, UNLESS SPECIFICALLY NOTED OTHERWISE. REFER TO SPECIFICATION AND MATERIAL SCHEDULE DRAWINGS FOR SELECTIONS.

1 PLAN
PROPOSED GROUND FLOOR PLAN
SCALE: 1:100

06	100% SCHEMATIC DESIGN - REVISED	11/02/2025	NK
05	100% SCHEMATIC DESIGN	29/01/2025	NK
04	100% SCHEMATIC DESIGN	10/01/2025	NK
03	80% SCHEMATIC DESIGN	13/12/2024	NK
02	50% SCHEMATIC DESIGN	03/12/2024	NK
01	SCHEMATIC DESIGN WIP	28/11/2024	LS
P5	100% CONCEPT DESIGN	14/11/2024	NK
P4	80% CONCEPT DESIGN	18/10/2024	NK
P3	FOR INFORMATION	09/10/2024	NK
P2	FOR INFORMATION	30/09/2024	NK
P1	FOR INFORMATION	20/09/2024	NK
REV.	DESCRIPTION	DATE	INIT.

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Katerina Christopoulos
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Ryan Lovelock

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QLD 3313
NSW 8371
NSW 7434
NSW 7190

QLD 2520
QLD 3313
QLD 3817
QLD 4528
QLD 3168
QLD 4500

DRAWING

PROJECT CLIENT / PHASE

SCHEMATIC DESIGN

SCHOOL INFRASTRUCTURE

NSW

PROJECT NUMBER

7068CY01

DIRECTOR

JW

DRAWING NUMBER

CPS-FTA-B00G-GF-DR-A-2102

CAMMERAY PUBLIC SCHOOL

68 PALMER STREET,
CAMMERAY, NSW

BUILDING G - PROPOSED GROUND FLOOR PLAN

Figured dimensions take precedence over scale dimensions. Contractors must verify all dimensions on site before commencing any work or making shop drawings.

PROJECT NUMBER

7068CY01

DIRECTOR

JW

DRAWING NUMBER

CPS-FTA-B00G-GF-DR-A-2102

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06

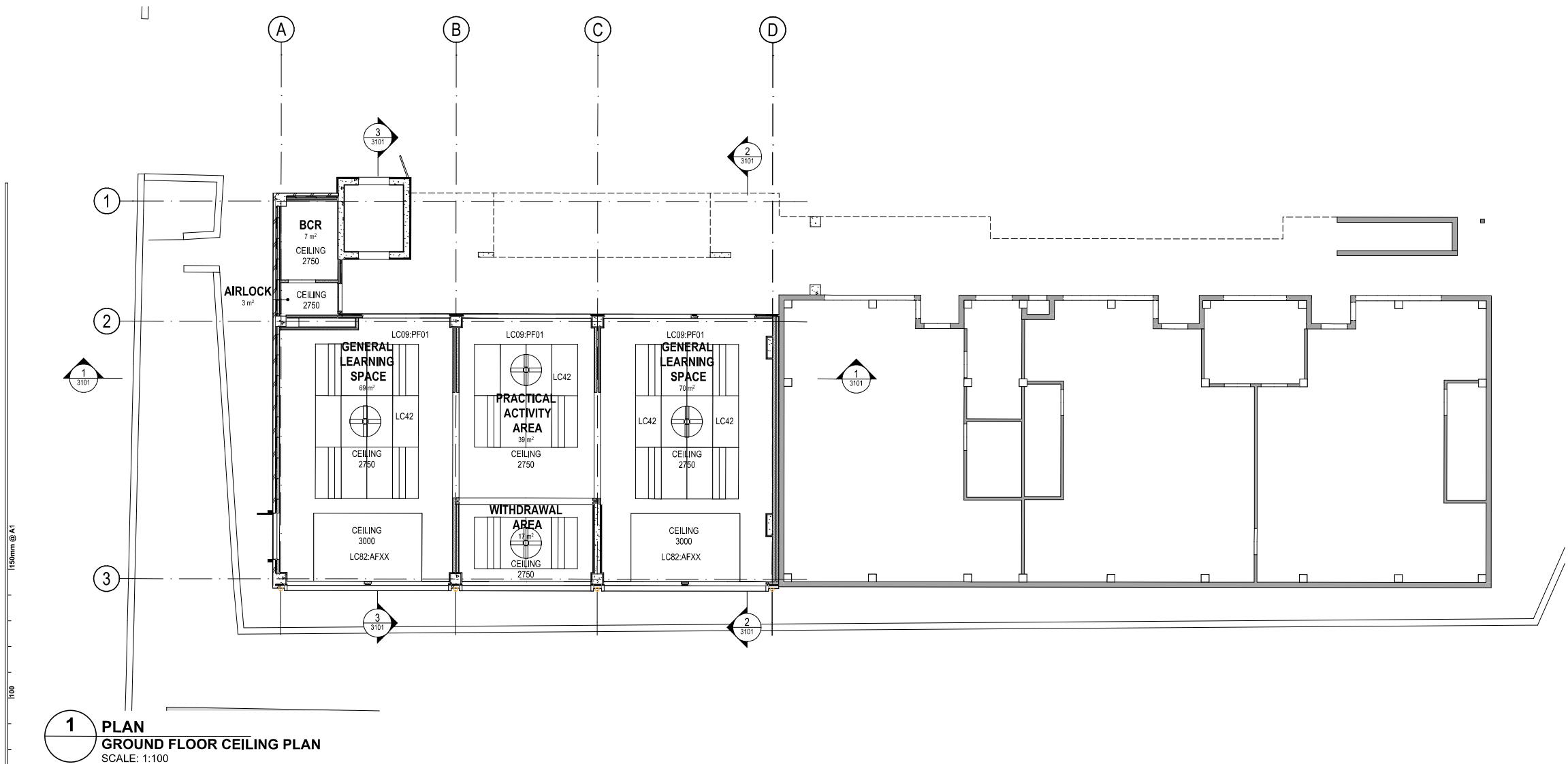
REVISION

plot date: Tuesday, 11 February 2025 9:48 AM file location: B:\Mcloud: FTA-SYD-BIM26 - B\BIMcloud Basic for Archcad 26\7068CY01 Cammeray Public School

Patternbook Interior Design Components: Reference Documentation

Ceilings Finishes and Layout - refer to the *SINSW Patternbook, Volume 2*, section 5.3 for Ceiling Finish Design intent to the Learning Commons and GLS / Multi-Purpose Room. Additional detail on finishes can be found on the SINSW GLS and SLU GA PLAN & FFE drawings.

FINISHES APPLYING TO BUILDING G - GROUND FLOOR ARE SCHEME 3, UNLESS SPECIFICALLY NOTED OTHERWISE.
REFER TO SPECIFICATION AND MATERIAL SCHEDULE DRAWINGS FOR SELECTIONS.



REV.	DESCRIPTION	DATE	INIT.
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04	100% SCHEMATIC DESIGN	29/01/2025	NK
03	100% SCHEMATIC DESIGN	10/01/2025	NK
02	80% SCHEMATIC DESIGN	13/12/2024	NK
01	50% SCHEMATIC DESIGN	03/12/2024	NK

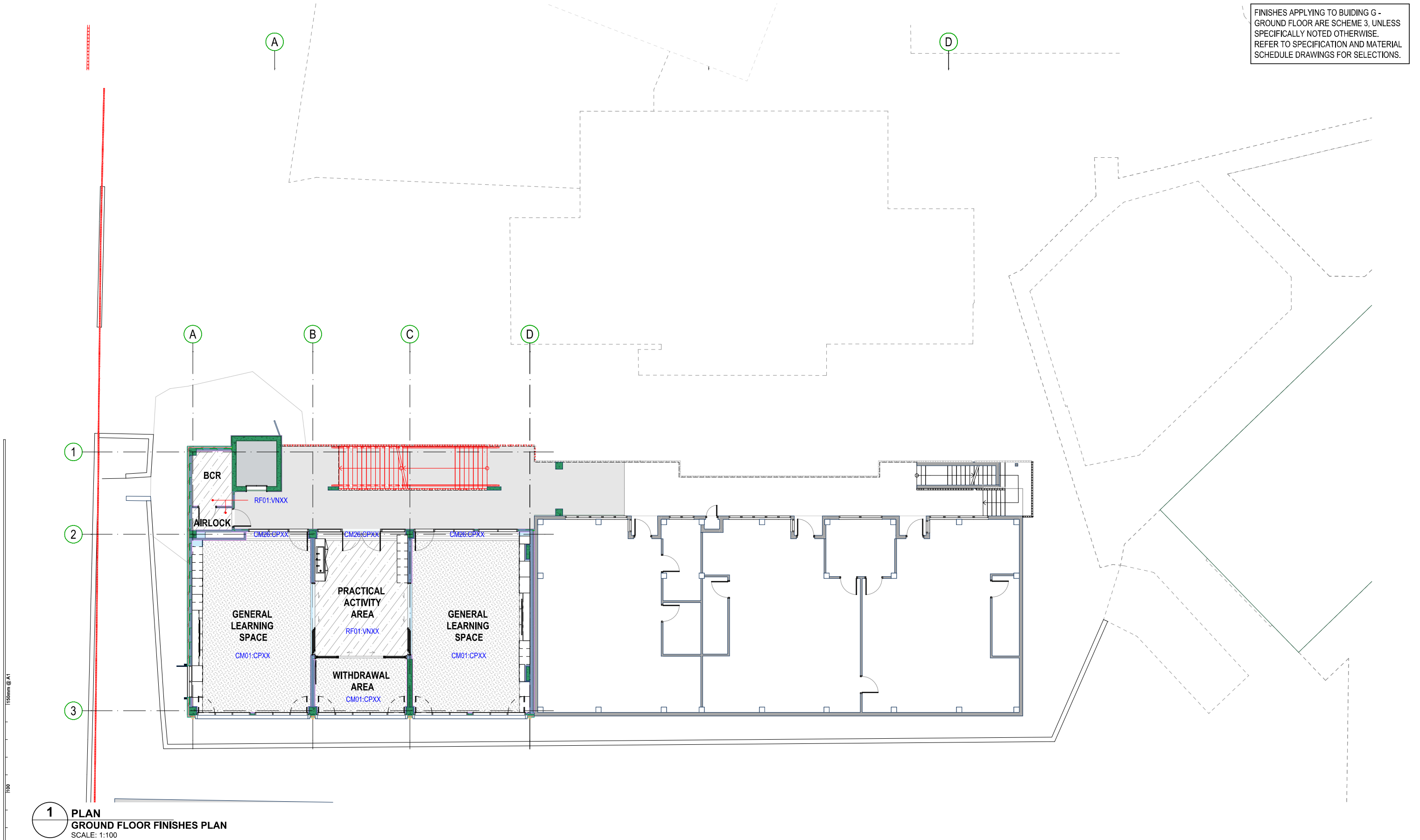
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PROJECT CLIENT / PHASE
SCHEMATIC DESIGN
SCHOOL INFRASTRUCTURE
NSW
CAMMERAY PUBLIC SCHOOL
68 PALMER STREET,
CAMMERAY, NSW

BUILDING G - GROUND FLOOR RCP
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PROJECT NUMBER
7068CY01
DRAWING NUMBER
CPS-FTA-B00G-GF-DR-A-2201
DIRECTOR
JW
CHECKED
05
REVISION

FINISHES APPLYING TO BUILDING G -
GROUND FLOOR ARE SCHEME 3, UNLESS
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SCHEDULE DRAWINGS FOR SELECTIONS.



1 PLAN
GROUND FLOOR FINISHES PLAN
SCALE: 1:100

REV.	DESCRIPTION	DATE	INIT.
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02	100% SCHEMATIC DESIGN	29/01/2025	NK
01	100% SCHEMATIC DESIGN	10/01/2025	NK

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SCHEMATIC DESIGN
SCHOOL INFRASTRUCTURE
NSW

CAMMERAY PUBLIC SCHOOL

**68 PALMER STREET,
CAMMERAY, NSW**

**BUILDING G - GROUND FLOOR
FINISHES PLAN**

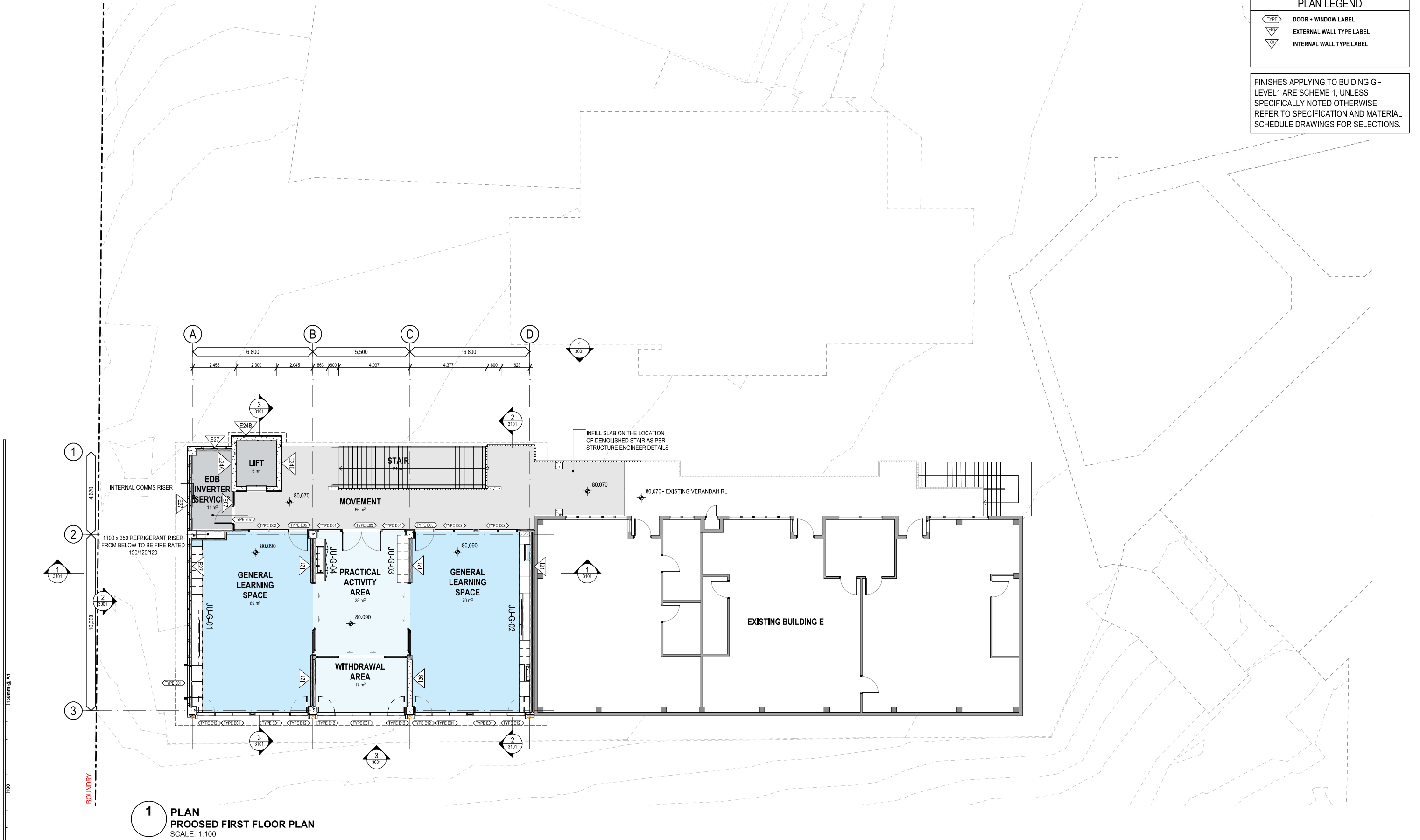
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any work or making shop drawings.

PROJECT NUMBER
7068CY01

DIRECTOR
JW

DRAWING NUMBER
CPS-FTA-B00G-GF-DR-A-2301

03



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03	80% SCHEMATIC DESIGN	13/12/2024	NK
02	50% SCHEMATIC DESIGN	03/12/2024	NK
01	SCHEMATIC DESIGN WIP	28/11/2024	LS
P5	100% CONCEPT DESIGN	14/11/2024	NK
P4	80% CONCEPT DESIGN	18/10/2024	NK
P3	FOR INFORMATION	09/10/2024	NK
P2	FOR INFORMATION	30/09/2024	NK
P1	FOR INFORMATION	20/09/2024	NK
REV.	DESCRIPTION	DATE	INIT.

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VIC 18804 NSW 7192 QLD 4505

SCHEMATIC DESIGN
SCHOOL INFRASTRUCTURE
NSW

CAMMERAY PUBLIC SCHOOL

68 PALMER STREET,
CAMMERAY, NSW

BUILDING G - PROPOSED
LEVEL 1 FLOOR PLAN

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any work or making shop drawings.

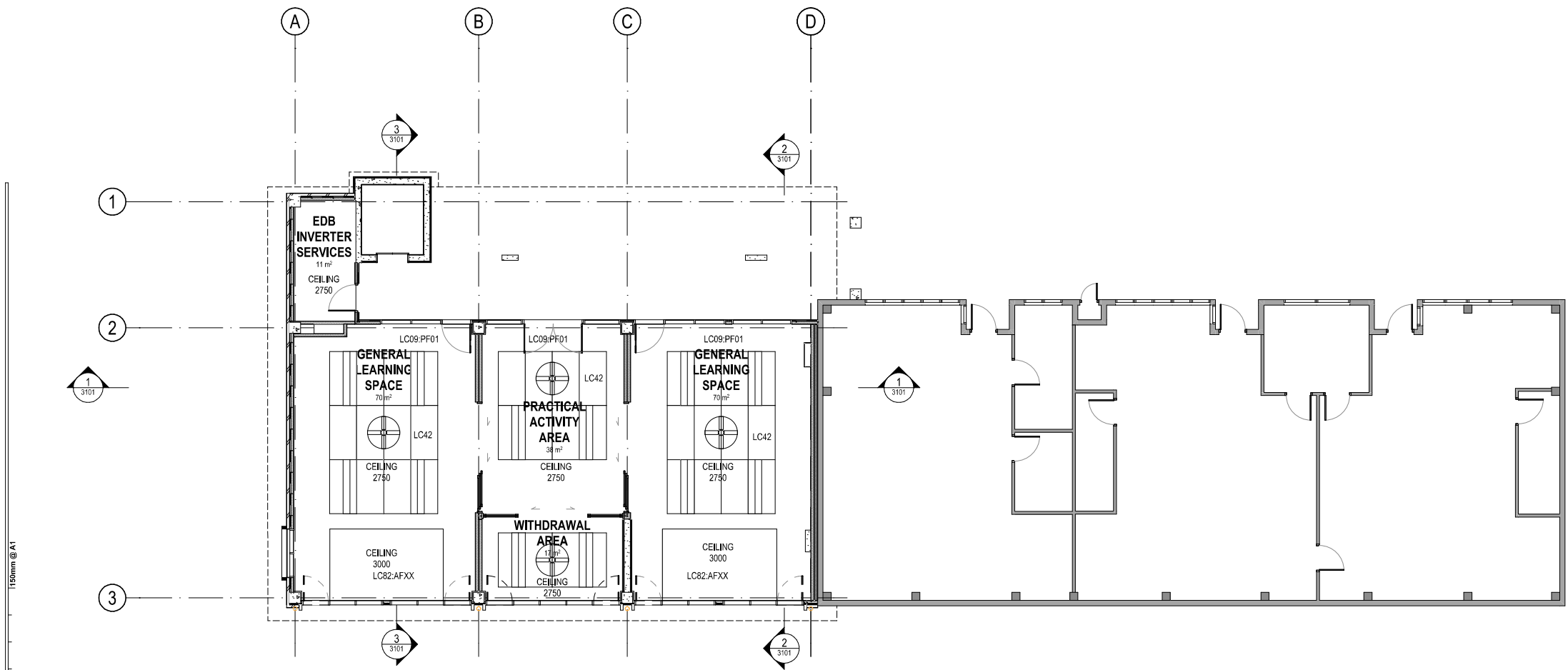
PROJECT NUMBER
7068CY01

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DRAWING NUMBER
CPS-FTA-B00G-L1-DR-A-2103

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REVISION
06

FINISHES APPLYING TO BUILDING G - LEVEL 1 ARE SCHEME 1, UNLESS SPECIFICALLY NOTED OTHERWISE.
REFER TO SPECIFICATION AND MATERIAL SCHEDULE DRAWINGS FOR SELECTIONS.



1 PLAN
FIRST FLOOR CEILING PLAN
SCALE: 1:100

150mm @ A1
150
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150mm @ A1
plot date: Tuesday, 11 February 2025 3:03 PM file location: BIMcloud: FTA-SYD-BIM26 - BIMcloud Basic for Archicad 26/7068CY01 Cammeray Public School

REV.	DESCRIPTION	DATE	INIT.
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04	100% SCHEMATIC DESIGN	29/01/2025	NK
03	100% SCHEMATIC DESIGN	10/01/2025	NK
02	80% SCHEMATIC DESIGN	13/12/2024	NK
01	50% SCHEMATIC DESIGN	03/12/2024	NK

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SCHEMATIC DESIGN
SCHOOL INFRASTRUCTURE
NSW

CAMMERAY PUBLIC SCHOOL

68 PALMER STREET,
CAMMERAY, NSW

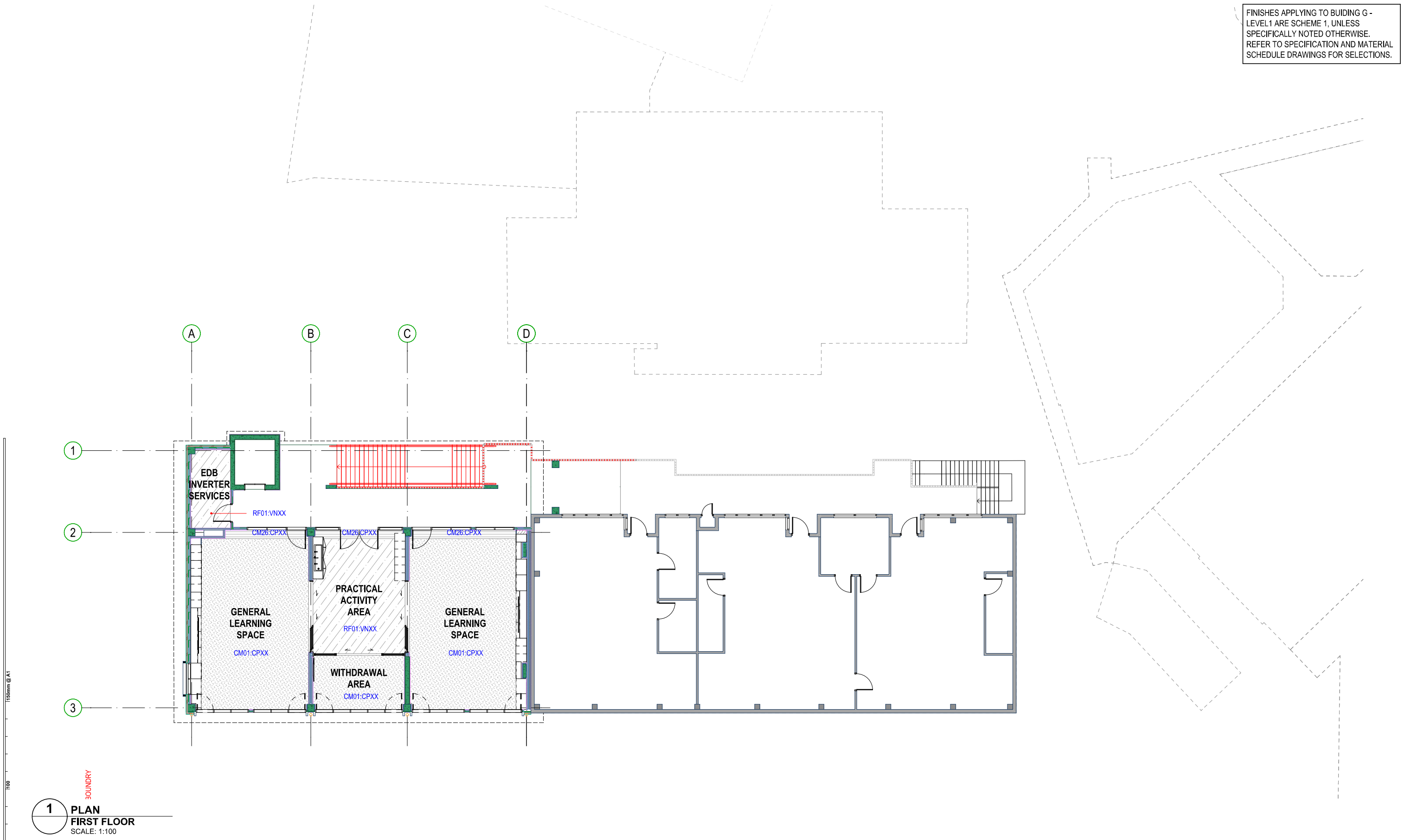
BUILDING G - LEVEL 1 RCP

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PROJECT NUMBER **7068CY01** DIRECTOR **JW** CHECKED

DRAWING NUMBER **CPS-FTA-B00G-L1-DR-A-2202** REVISION **05**

FINISHES APPLYING TO BUILDING G - LEVEL 1 ARE SCHEME 1, UNLESS SPECIFICALLY NOTED OTHERWISE. REFER TO SPECIFICATION AND MATERIAL SCHEDULE DRAWINGS FOR SELECTIONS.



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SCHEMATIC DESIGN
SCHOOL INFRASTRUCTURE
NSW

CAMMERAY PUBLIC SCHOOL

68 PALMER STREET,
CAMMERAY, NSW

BUILDING G - LEVEL 1
FINISHES PLAN

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any work or making shop drawings.

PROJECT NUMBER
7068CY01

DIRECTOR
JW

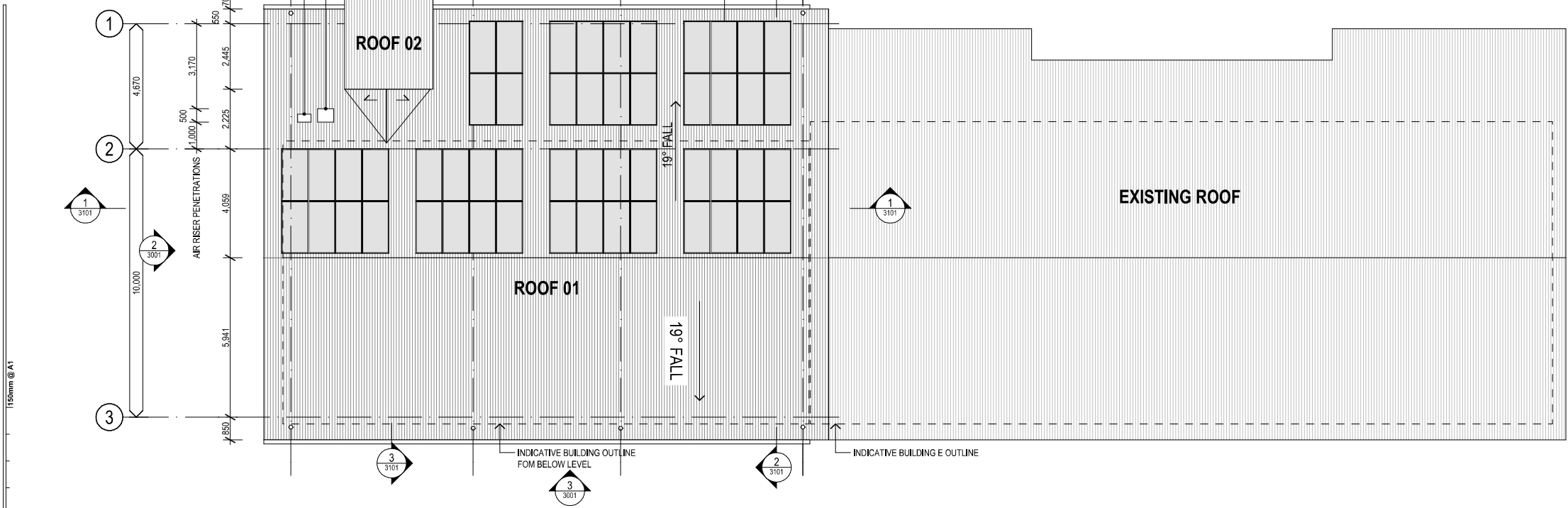
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CPS-FTA-B00G-L1-DR-A-2302



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REVISION

03



1 PLAN
PROPOSED ROOF PLAN
SCALE: 1:100

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05	100% SCHEMATIC DESIGN	29/01/2025	NK
04	100% SCHEMATIC DESIGN	10/01/2025	NK
03	80% SCHEMATIC DESIGN	13/12/2024	NK
02	50% SCHEMATIC DESIGN	03/12/2024	NK
01	SCHEMATIC DESIGN WIP	28/11/2024	LS
P5	100% CONCEPT DESIGN	14/11/2024	NK
P4	80% CONCEPT DESIGN	18/10/2024	NK
P3	FOR INFORMATION	09/10/2024	NK
P2	FOR INFORMATION	30/09/2024	NK
P1	FOR INFORMATION	20/09/2024	NK
REV.	DESCRIPTION	DATE	INIT.

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NSW 7434 QLD 4528
NSW 7190 QLD 3168
QLD 4505

SCHEMATIC DESIGN
SCHOOL INFRASTRUCTURE
NSW

CAMMERAY PUBLIC SCHOOL

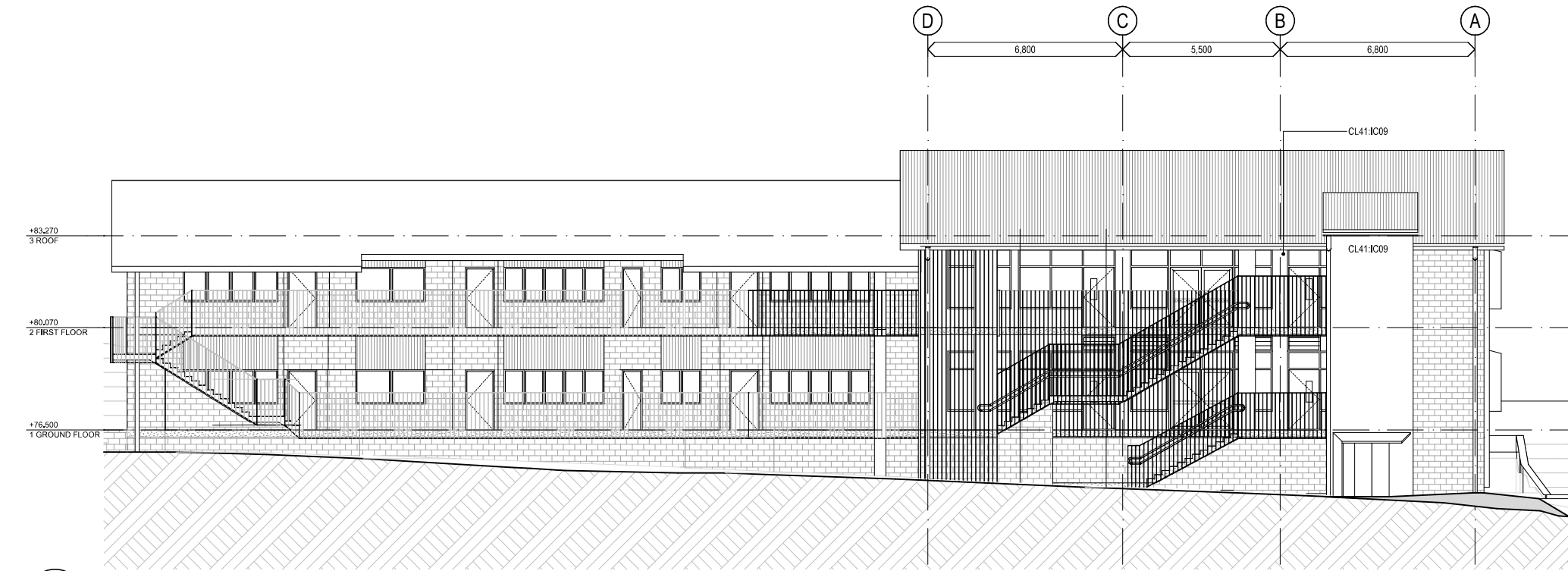
68 PALMER STREET,
CAMMERAY, NSW

BUILDING G - PROPOSED ROOF PLAN

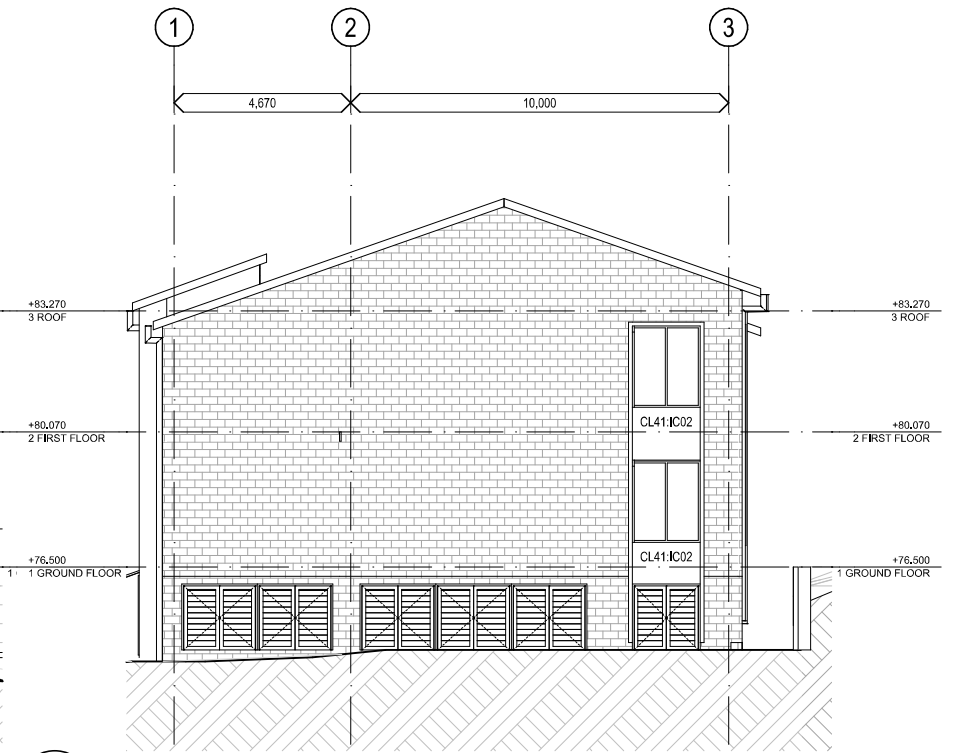
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PROJECT NUMBER **7068CY01** DIRECTOR **JW** CHECKED

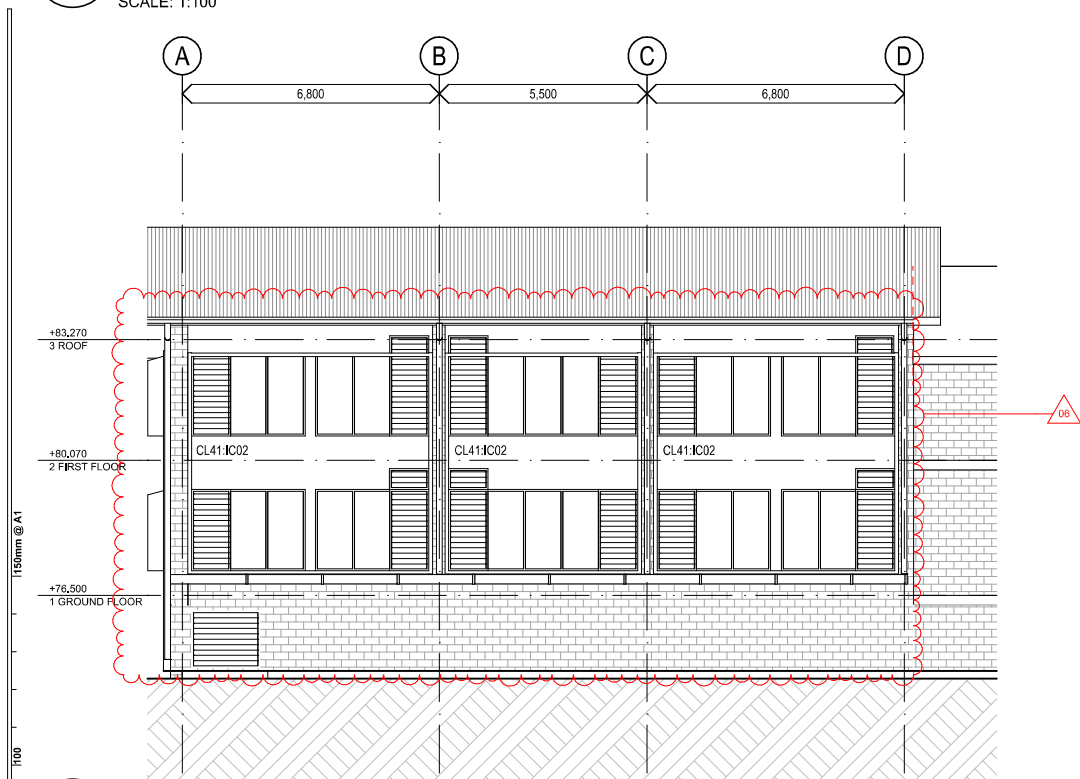
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NORTH ELEVATION
SCALE: 1:100



2 ELEVATION
WEST ELEVATION
SCALE: 1:100



3 ELEVATION
SOUTH ELEVATION
SCALE: 1:100

06	TENDER ADDENDUM	28/02/2025	NK
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01	SCHEMATIC DESIGN WIP	28/11/2024	LS
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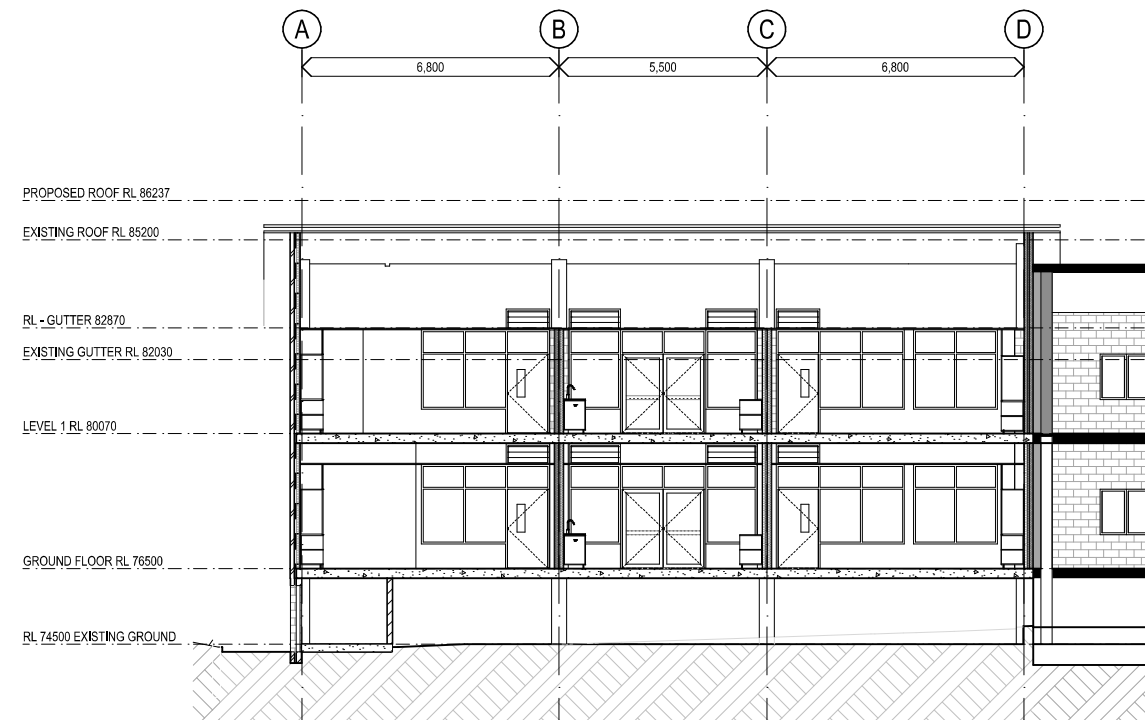
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Ryan Lovelock frais QLD 4500

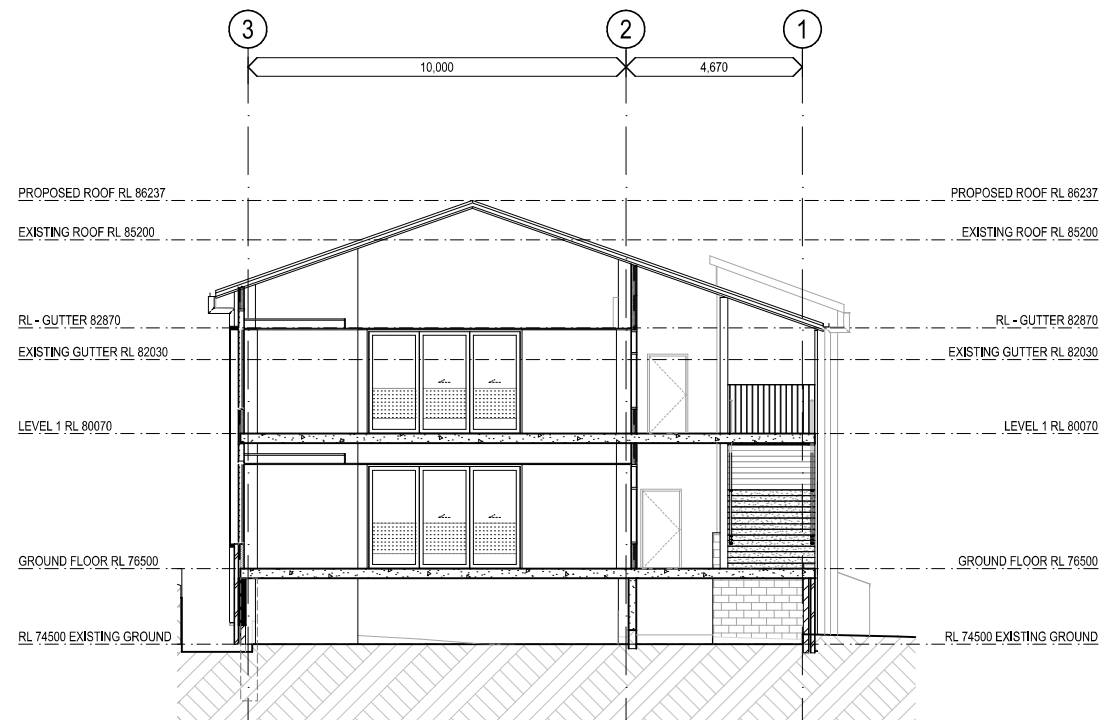
SCHEMATIC DESIGN
SCHOOL INFRASTRUCTURE
NSW
CAMMERAY PUBLIC SCHOOL
68 PALMER STREET,
CAMMERAY, NSW

BUILDING G - ELEVATIONS 01
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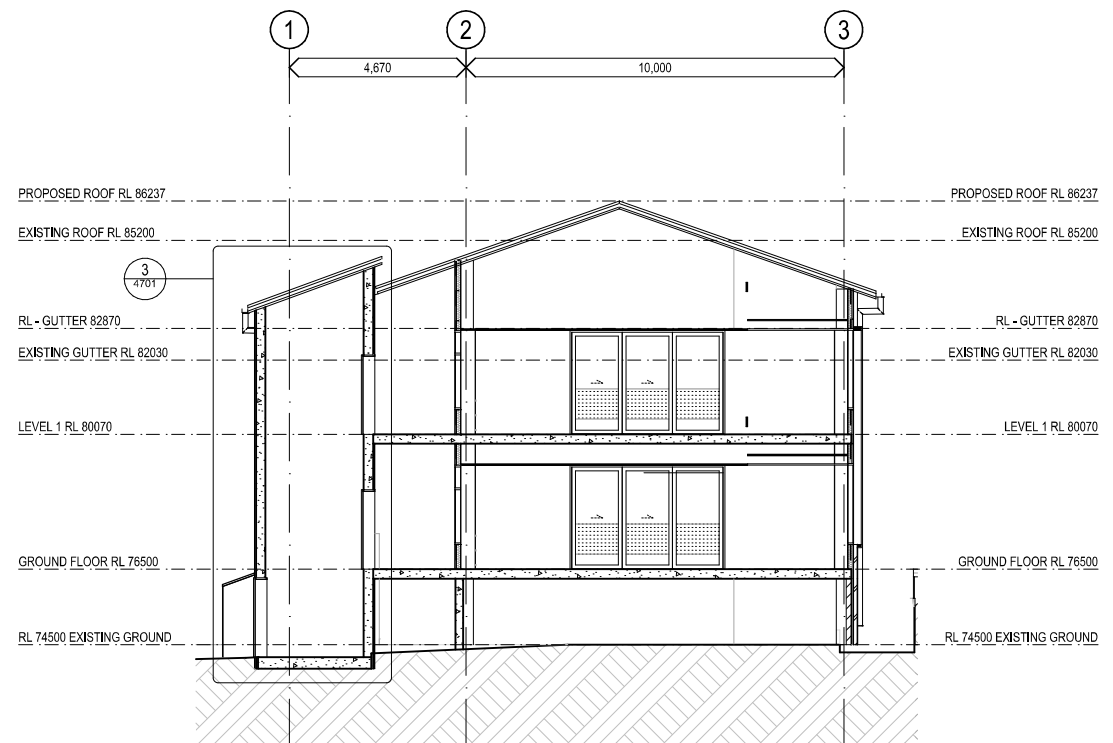
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7068CY01	JW	
DRAWING NUMBER	REVISION	
CPS-FTA-B00G-ZZ-DR-A-3001	06	



1 SECTION
SECTION A
SCALE: 1:100



2 SECTION
SECTION B
SCALE: 1:100



3 SECTION
SECTION E
SCALE: 1:100

150mm @ A1
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50

REV.	DESCRIPTION	DATE	INIT.
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04	100% SCHEMATIC DESIGN	10/01/2025	NK
03	80% SCHEMATIC DESIGN	13/12/2024	NK
02	50% SCHEMATIC DESIGN	03/12/2024	NK
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P4	80% CONCEPT DESIGN	18/10/2024	NK
P3	FOR INFORMATION	09/10/2024	NK
P2	FOR INFORMATION	30/09/2024	NK
P1	FOR INFORMATION	20/09/2024	NK

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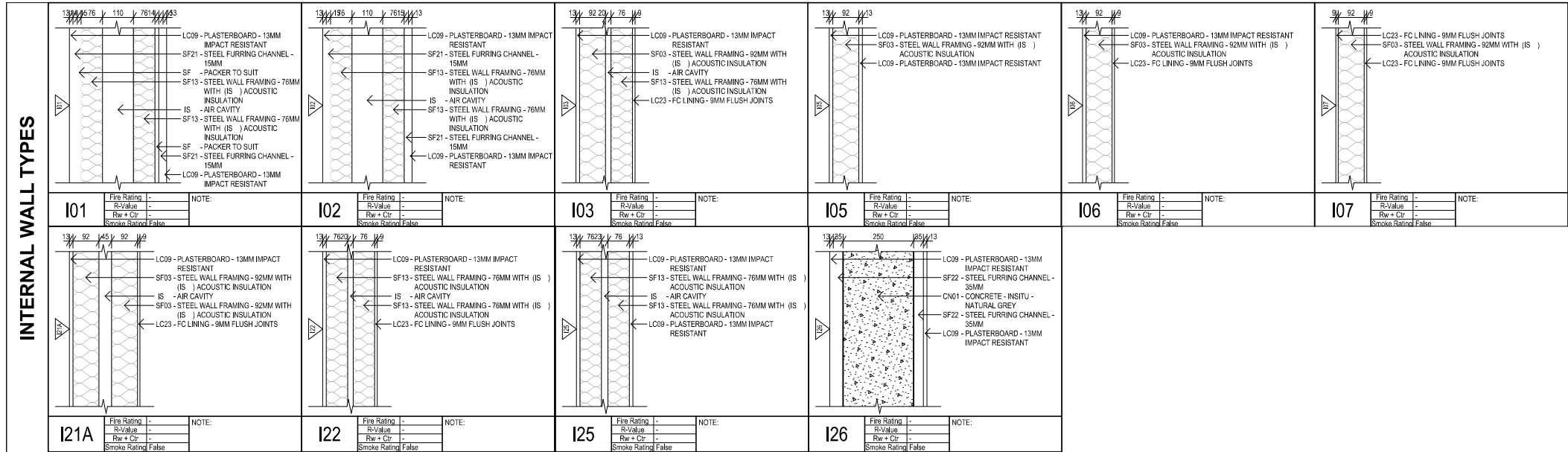
DIRECTORS
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PROJECT CLIENT / PHASE
SCHEMATIC DESIGN
SCHOOL INFRASTRUCTURE
NSW
CAMMERAY PUBLIC SCHOOL
68 PALMER STREET,
CAMMERAY, NSW

BUILDING G - SECTIONS 01
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PROJECT NUMBER	DIRECTOR	CHECKED
7068CY01	JW	
DRAWING NUMBER	REVISION	
CPS-FTA-B00G-ZZ-DR-A-3101		05

INTERNAL WALL TYPES



04	100% SCHEMATIC DESIGN - REVISED	11/02/2025	NK
03	100% SCHEMATIC DESIGN	10/01/2025	NK
02	80% SCHEMATIC DESIGN	13/12/2024	NK
01	50% SCHEMATIC DESIGN	03/12/2024	NK
REV.	DESCRIPTION	DATE	INIT.

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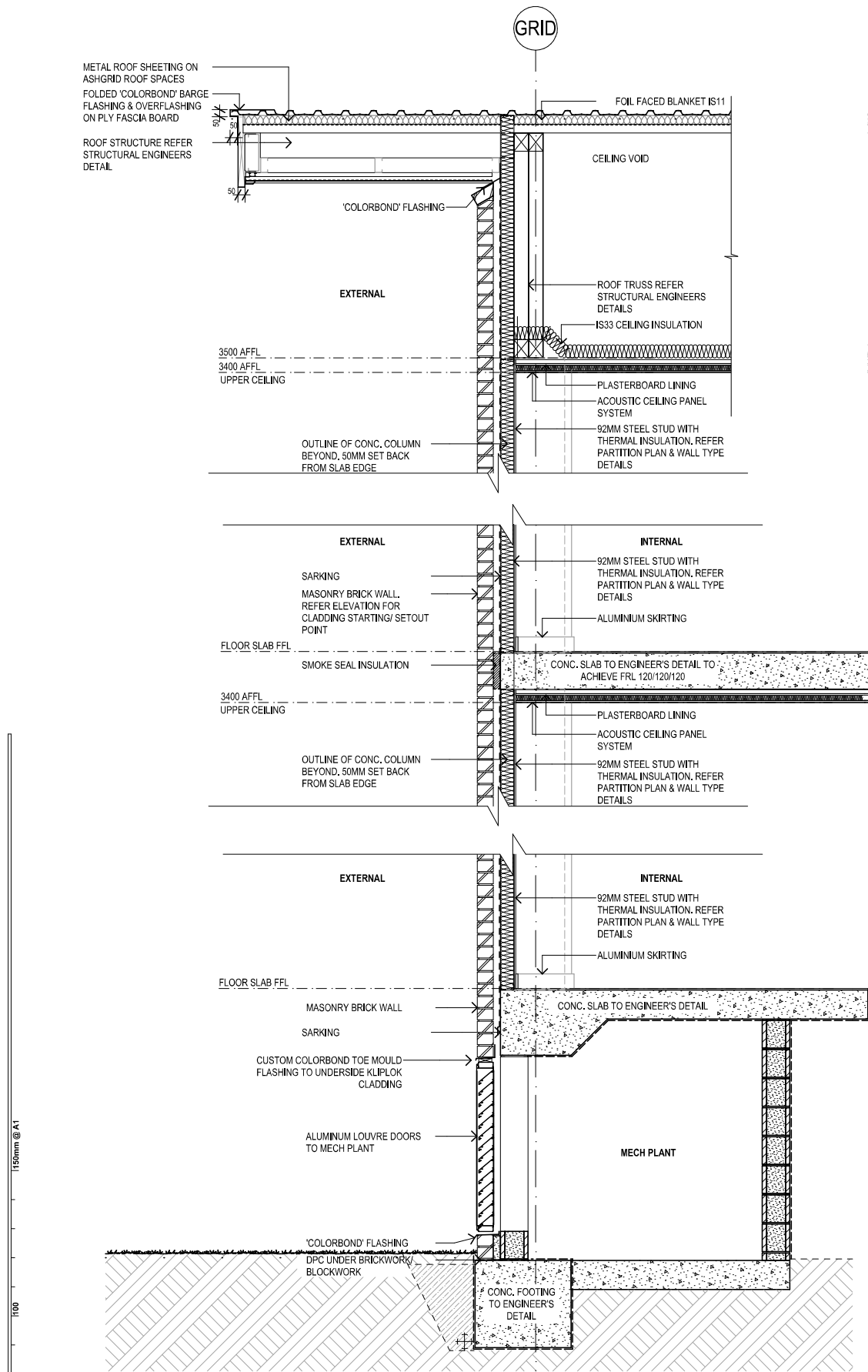
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Paula Farrant
Ryan Lovelock Fraai

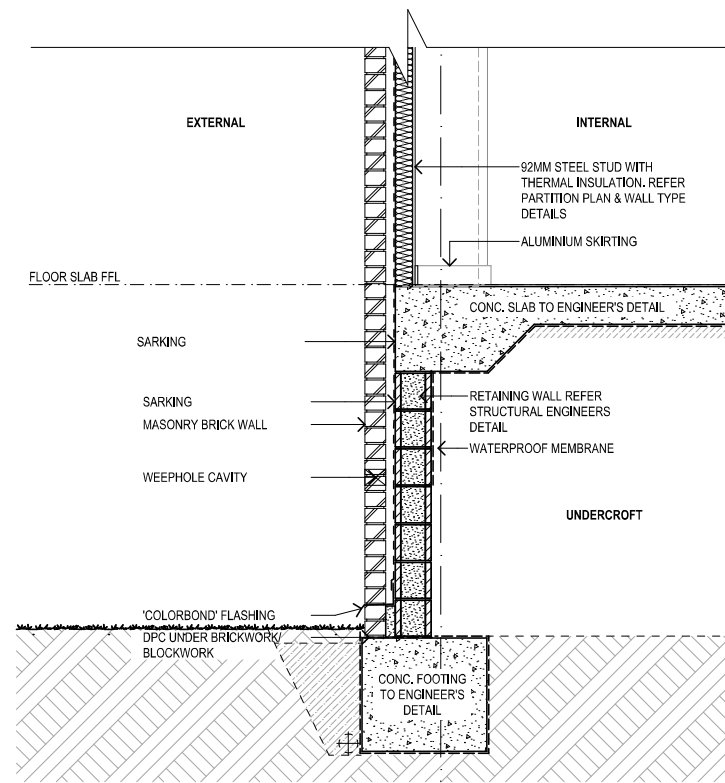
VIC 18804 NSW 6855 QLD 2020
QLD 3313
QLD 3547
NSW 7434
QLD 4250
QLD 3158
QLD 4260

CLIENT PHASE
SCHEMATIC DESIGN
PROJECT SCHOOL INFRASTRUCTURE
ADDRESS CAMMERAY PUBLIC SCHOOL
68 PALMER STREET,
CAMMERAY, NSW

DRAWING	
WALL TYPES 01	
<p>[Figured dimensions take precedence over scale dimensions. Contractors must verify all dimensions on site before commencing any work or making shop drawings.]</p>	
PROJECT NUMBER	DIRECTOR
7068CY01	JW
DRAWING NUMBER	REVISION
CPS-FTA-B00G-ZZ-DR-A-0001	04



1 DETAIL SECTION
SECTION DETAIL 01 - STREET SIDE WALL
SCALE: 1:20



2 DETAIL SECTION
SECTION DETAIL 02 - STREET SIDE WALL
SCALE: 1:20

REV.	DESCRIPTION	DATE	INIT.
04	100% SCHEMATIC DESIGN - REVISED	11/02/2025	NK
03	100% SCHEMATIC DESIGN	10/01/2025	NK
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PROJECT CLIENT / PHASE
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CAMMERAY PUBLIC SCHOOL
68 PALMER STREET,
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SECTION DETAILS 01
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PROJECT NUMBER DIRECTOR CHECKED
7068CY01 **JW**
DRAWING NUMBER REVISION
CPS-FTA-B00G-ZZ-DR-A-4201 **04**



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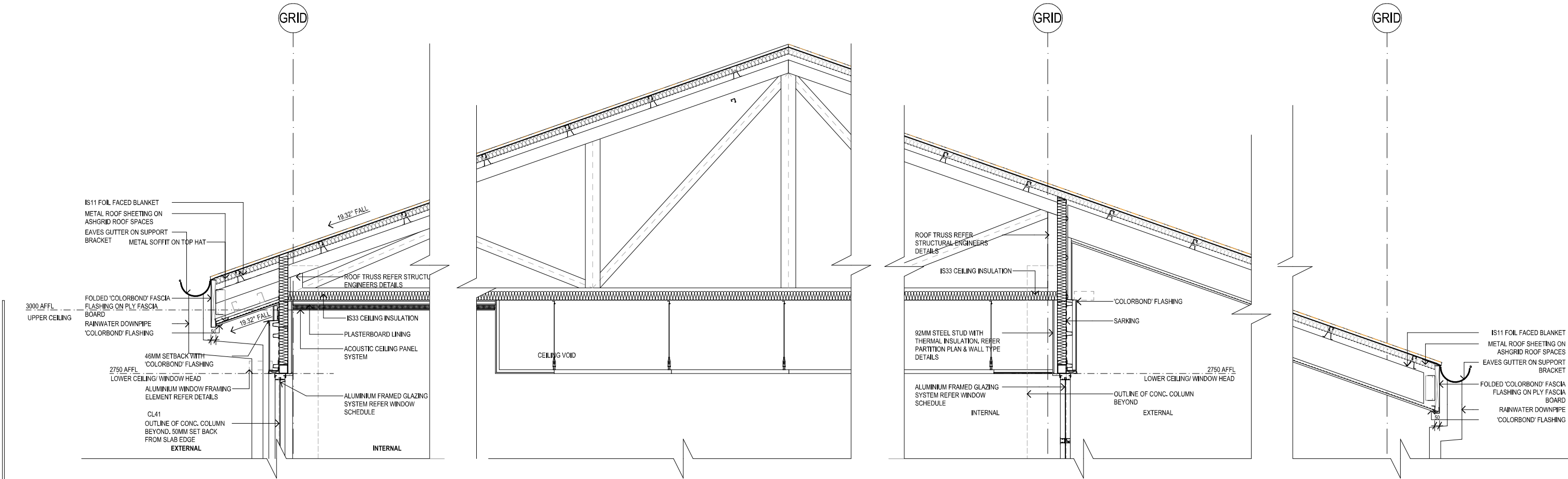
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John Ward		NSW 3817
Neil Wain	VC 1884	NSW 3871
Katerina Dracopoulos		NSW 7434
Paul Steiner		NSW 7150
Rory Lowndes		NSW 4260

DRAWING	SECTION DETAILS 02		
	<p>Figured dimensions take precedence over scale dimensions. Contractors must verify all dimensions on site before commencing any work or making shop drawings.</p>		
PROJECT NUMBER	DIRECTOR	CHECKED	
7068CY01	JW		
DRAWING NUMBER	REVISION		
CPS-FTA-B00G-ZZ-DR-A-4202			05



150mm @ A1
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REV.	DESCRIPTION	DATE	INIT.
04	100% SCHEMATIC DESIGN - REVISED	11/02/2025	NK
03	100% SCHEMATIC DESIGN	10/01/2025	NK
02	80% SCHEMATIC DESIGN	13/12/2024	NK
01	50% SCHEMATIC DESIGN	03/12/2024	NK

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Katerina Orsopoulos Frae NSW 7434 QLD 4528
Paul Spikow Frae NSW 7190 QLD 3168
Ryan Lovelock Frae QLD 4505

SCHEMATIC DESIGN
SCHOOL INFRASTRUCTURE
NSW

CAMMERAY PUBLIC SCHOOL

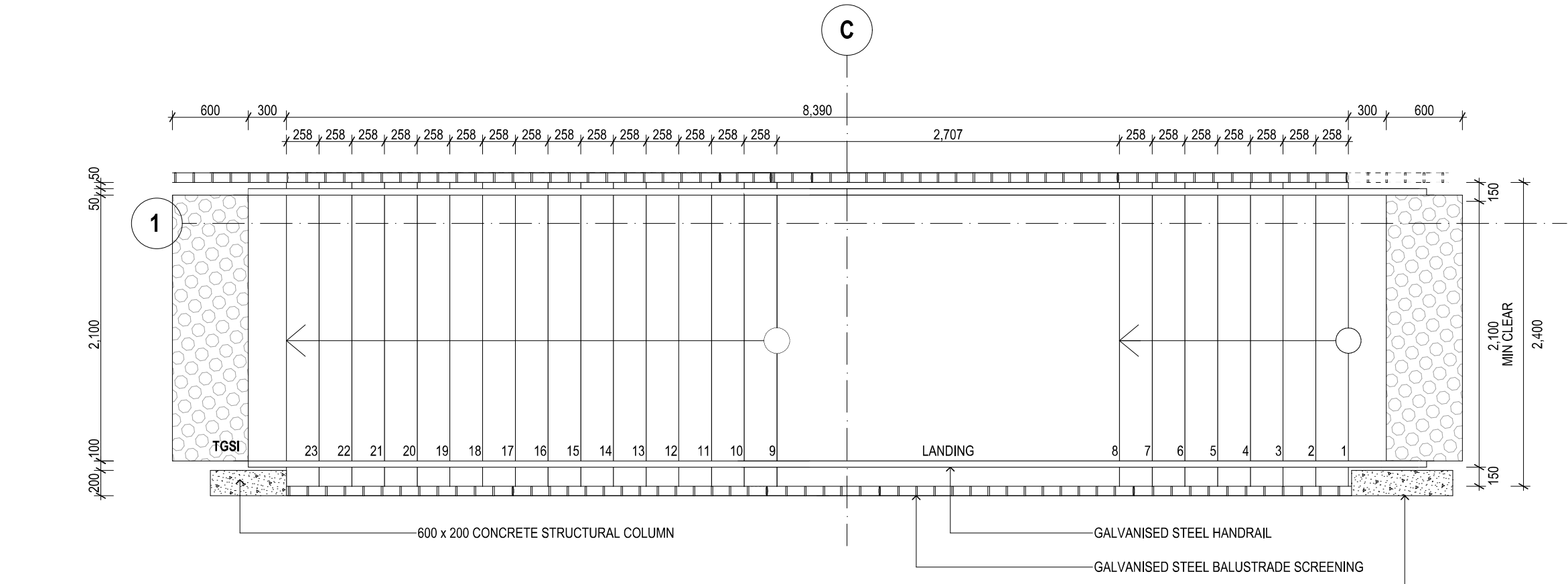
68 PALMER STREET,
CAMMERAY, NSW

SECTION DETAILS 03

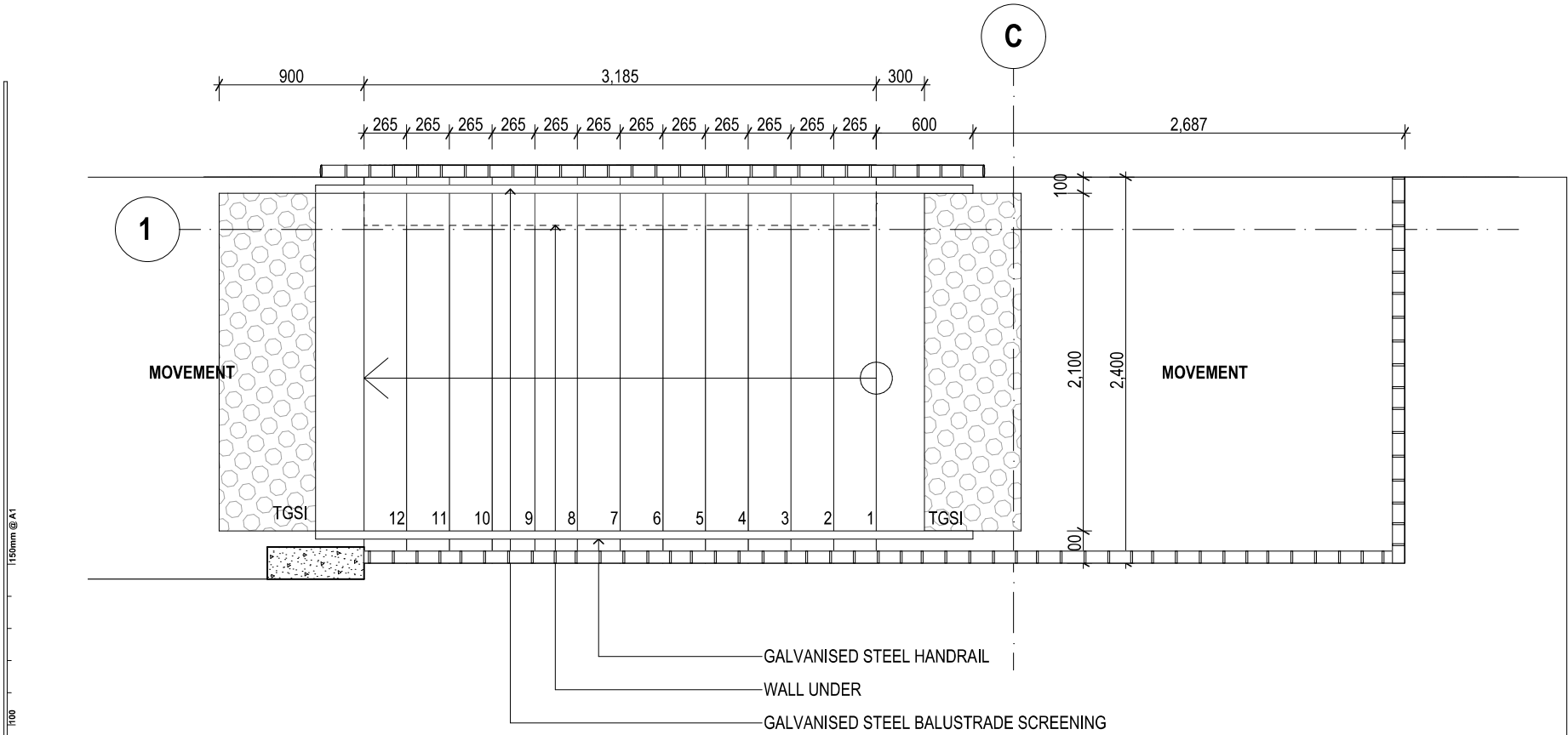
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PROJECT NUMBER **7068CY01** DIRECTOR **JW** CHECKED

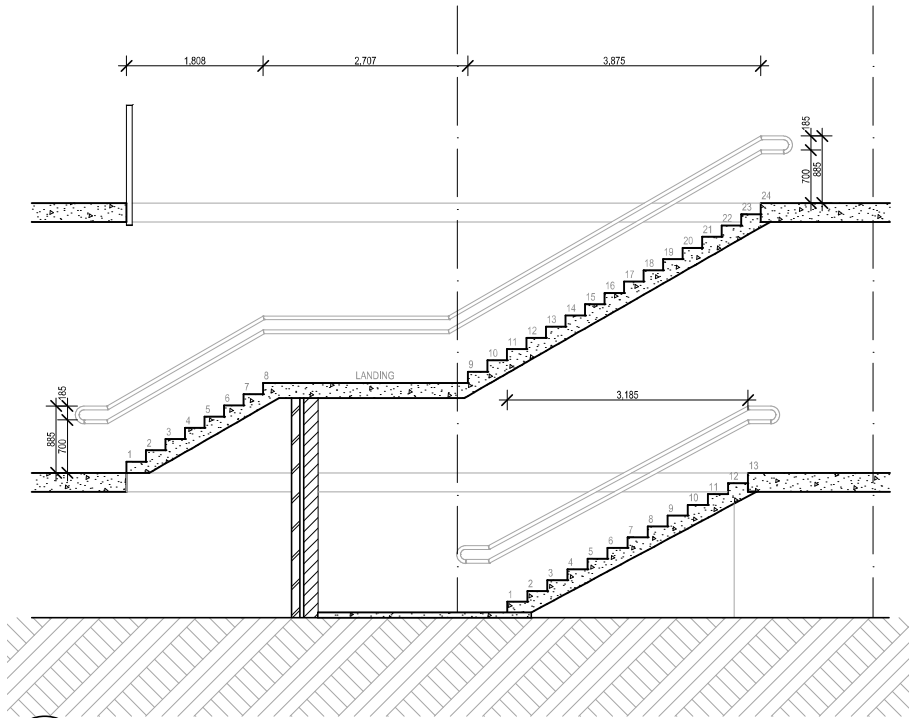
DRAWING NUMBER **CPS-FTA-B00G-ZZ-DR-A-4203** REVISION **04**



1 PLAN
GF STAIR PLAN DETAIL
SCALE: 1:20



2 PLAN
UNDERCROFT STAIR PLAN DETAILS
SCALE: 1:20



3 SECTION
STAIR SECTION DETAILS
SCALE: 1:50

REV.	DESCRIPTION	DATE	INIT.
03	100% SCHEMATIC DESIGN - REVISED	11/02/2025	NK
02	100% SCHEMATIC DESIGN	10/01/2025	NK
01	80% SCHEMATIC DESIGN	13/12/2024	NK

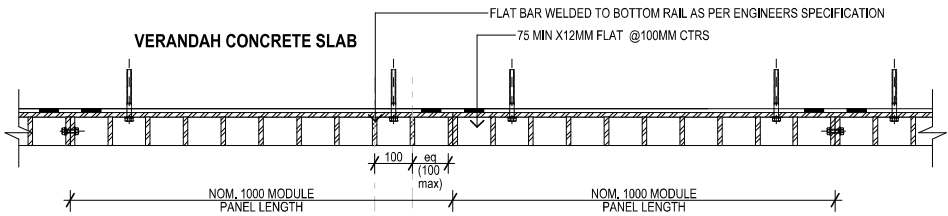
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Ryan Lovelock rail QLD 4505

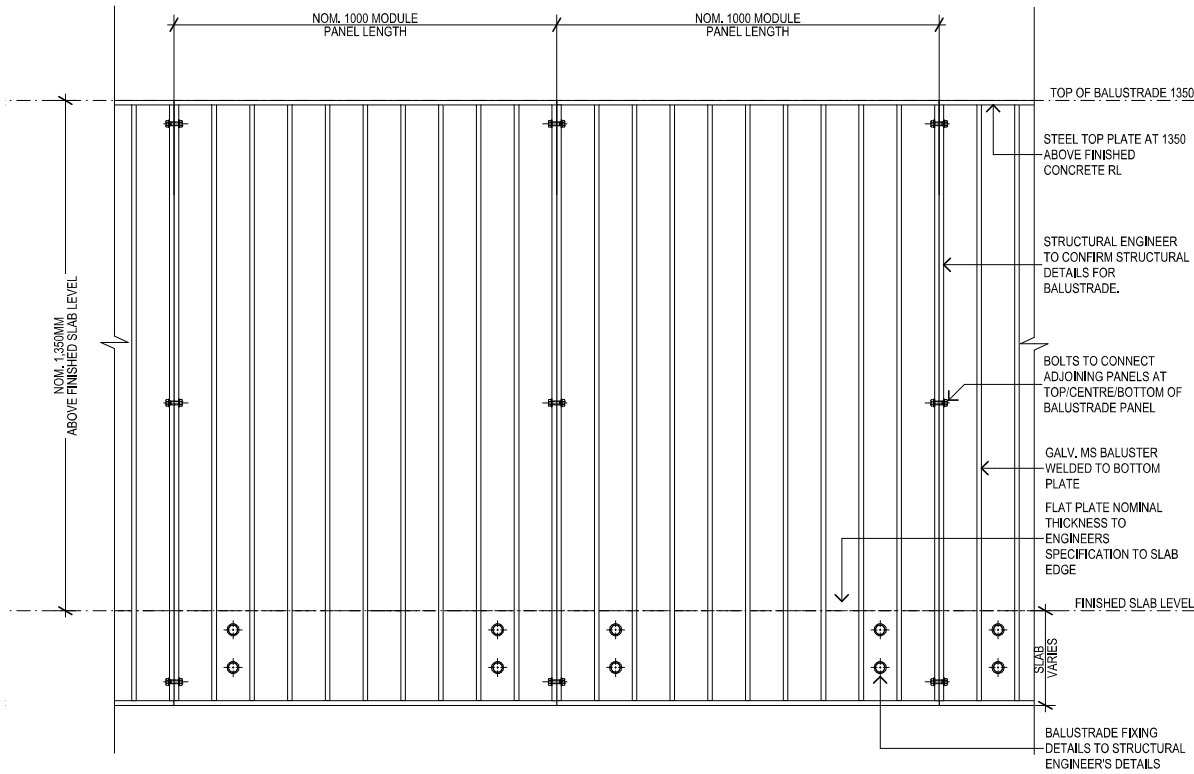
SCHEMATIC DESIGN
SCHOOL INFRASTRUCTURE
NSW
CAMMERAY PUBLIC SCHOOL
68 PALMER STREET,
CAMMERAY, NSW

STAIR DETAILS
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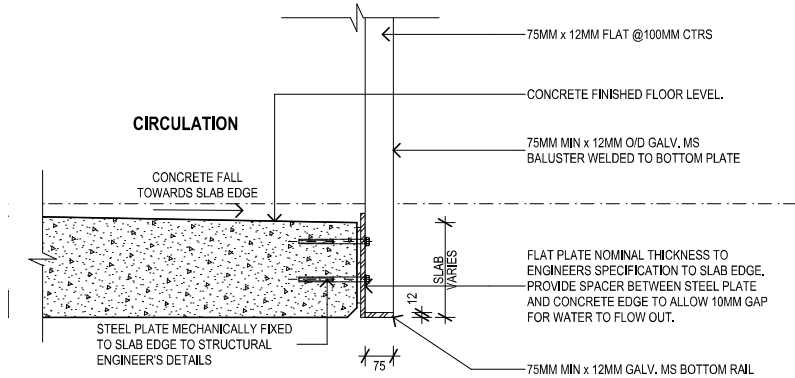
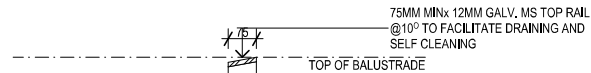
PROJECT NUMBER **7068CY01** DIRECTOR **JW** CHECKED
DRAWING NUMBER **CPS-FTA-B00G-ZZ-DR-A-4401** REVISION **03**



1 **DETAIL PLAN**
BALUSTRADE AND HANDRAIL DETAILS
SCALE: 1:10



2 **DETAIL ELEVATION**
BALUSTRADE AND HANDRAIL DETAILS
SCALE: 1:10



3 **DETAIL SECTION**
BALUSTRADE AND HANDRAIL DETAILS
SCALE: 1:10

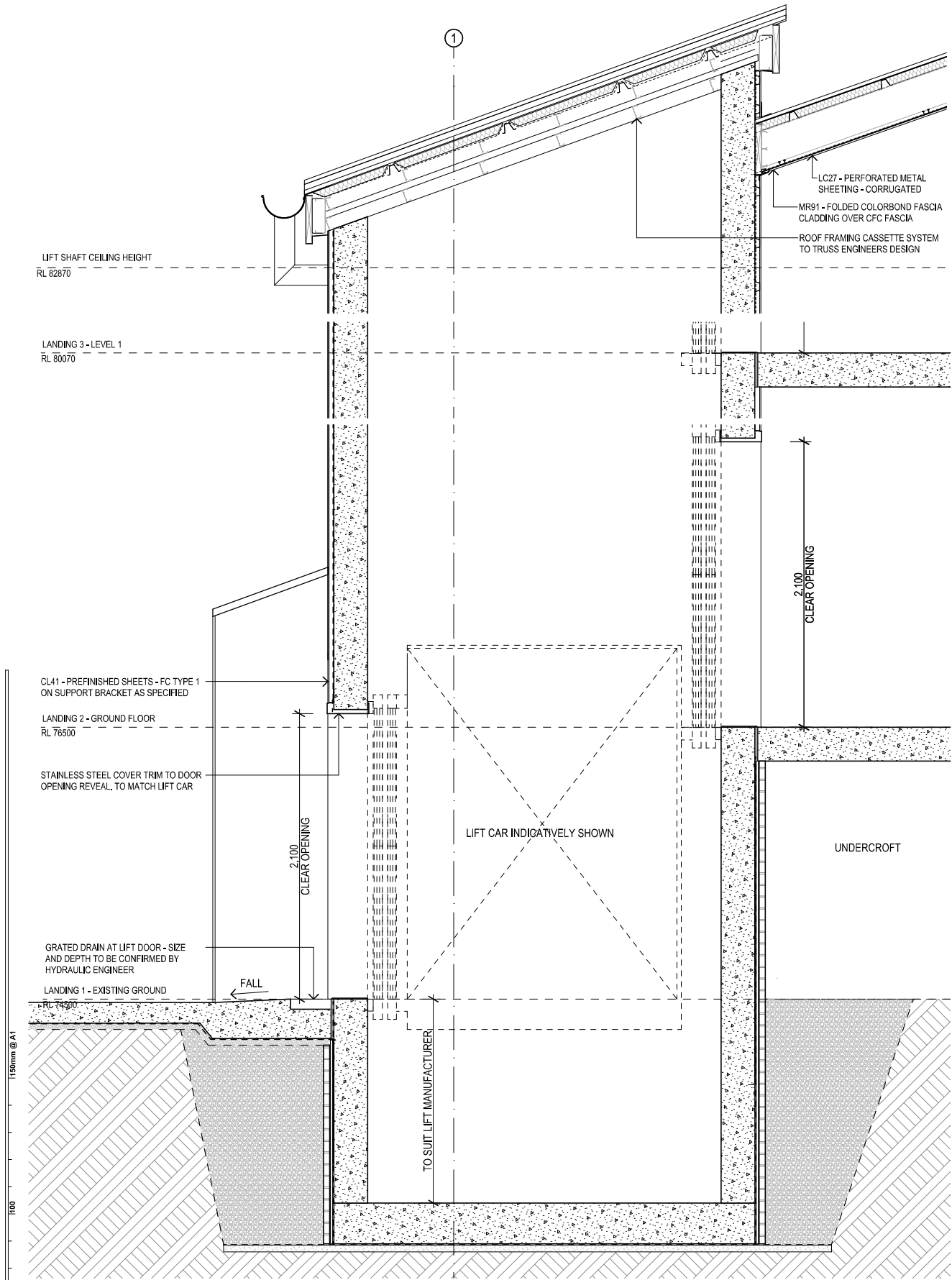
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REV.	DESCRIPTION	DATE	INIT.
04	100% SCHEMATIC DESIGN - REVISED	11/02/2025	NK
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02	80% SCHEMATIC DESIGN	13/12/2024	NK
01		03/12/2024	

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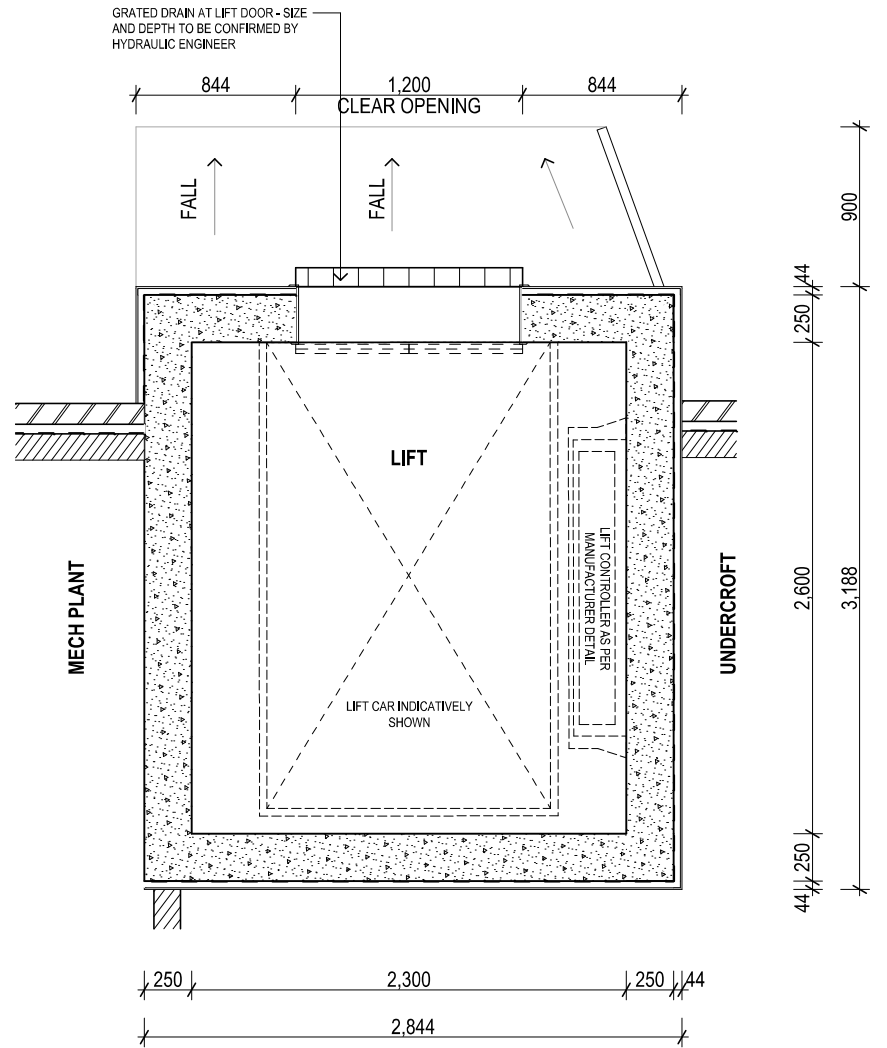
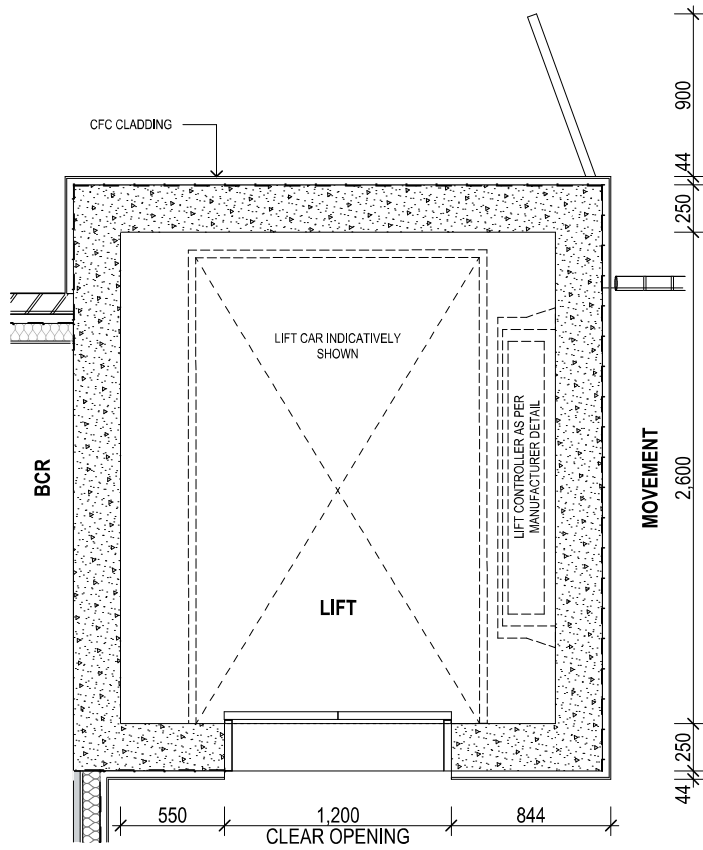
DRAWING PROJECT CLIENT PHASE
SCHEMATIC DESIGN
SCHOOL INFRASTRUCTURE
NSW
ADDRESS CAMMERAY PUBLIC SCHOOL
68 PALMER STREET,
CAMMERAY, NSW

DRAWING **BALUSTRADE AND HANDRAIL DETAILS**
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PROJECT NUMBER DIRECTOR CHECKED
7068CY01 **JW**
DRAWING NUMBER REVISION
CPS-FTA-B00G-ZZ-DR-A-4501 **04**



1 PLAN
PLAN DETAIL AT LEVEL 1
SCALE: 1:20

3 SECTION
SECTION DETAIL
SCALE: 1:20



2 PLAN
PLAN DETAIL AT GROUND
SCALE: 1:20

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Ryan Lovelock rail QLD 4505

SCHEMATIC DESIGN
SCHOOL INFRASTRUCTURE
NSW

CAMMERAY PUBLIC SCHOOL

68 PALMER STREET,
CAMMERAY, NSW

LIFT DETAILS

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PROJECT NUMBER
7068CY01

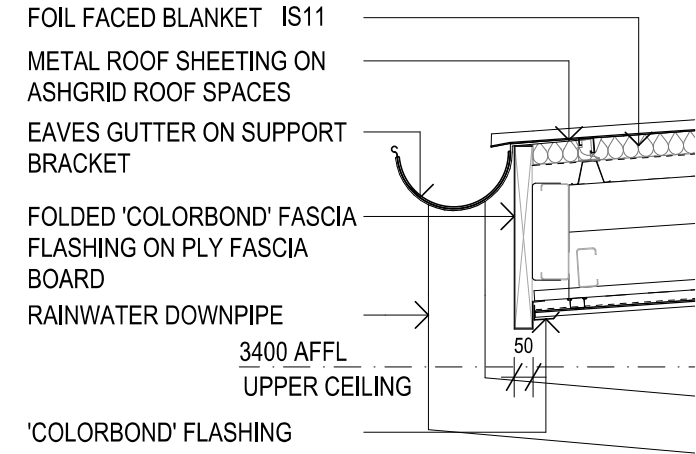
DIRECTOR
JW

DRAWING NUMBER

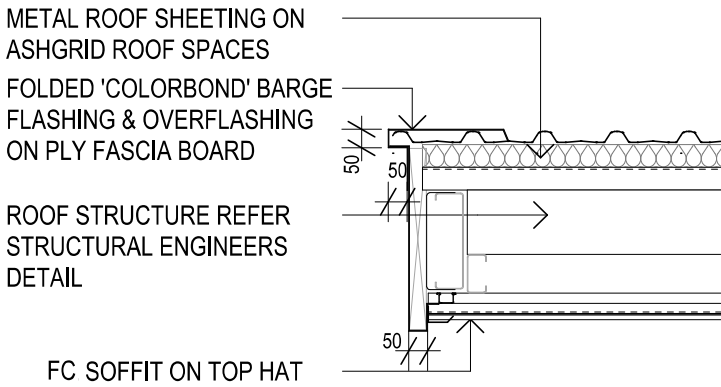
CPS-FTA-B00G-ZZ-DR-A-4701

REVISION

04



1 **DETAIL SECTION**
TYPICAL FASCIA DETAILS 01
SCALE: 1:10



2 **DETAIL SECTION**
TYPICAL FASCIA DETAILS 02
SCALE: 1:10

150mm @ A1

100

50

150 100 150mm @ A1

plot date: Friday, 21 February 2025 12:49 PM file location: BIMcloud: FTA-SYD-BIM26 - BIMcloud Basic for Archicad 26/7068CY01 Cammeray Public School

REV.	DESCRIPTION	DATE	INIT.
05	100% SCHEMATIC DESIGN - REVISED	21/02/2025	NK
04	100% SCHEMATIC DESIGN - REVISED	11/02/2025	NK
03	100% SCHEMATIC DESIGN	10/01/2025	NK
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01	50% SCHEMATIC DESIGN	03/12/2024	NK

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Paul Spikav, frais, NSW 7190 QLD 3108
Ryan Lovelock, frais, QLD 4505

SCHEMATIC DESIGN
SCHOOL INFRASTRUCTURE
NSW

CAMMERAY PUBLIC SCHOOL

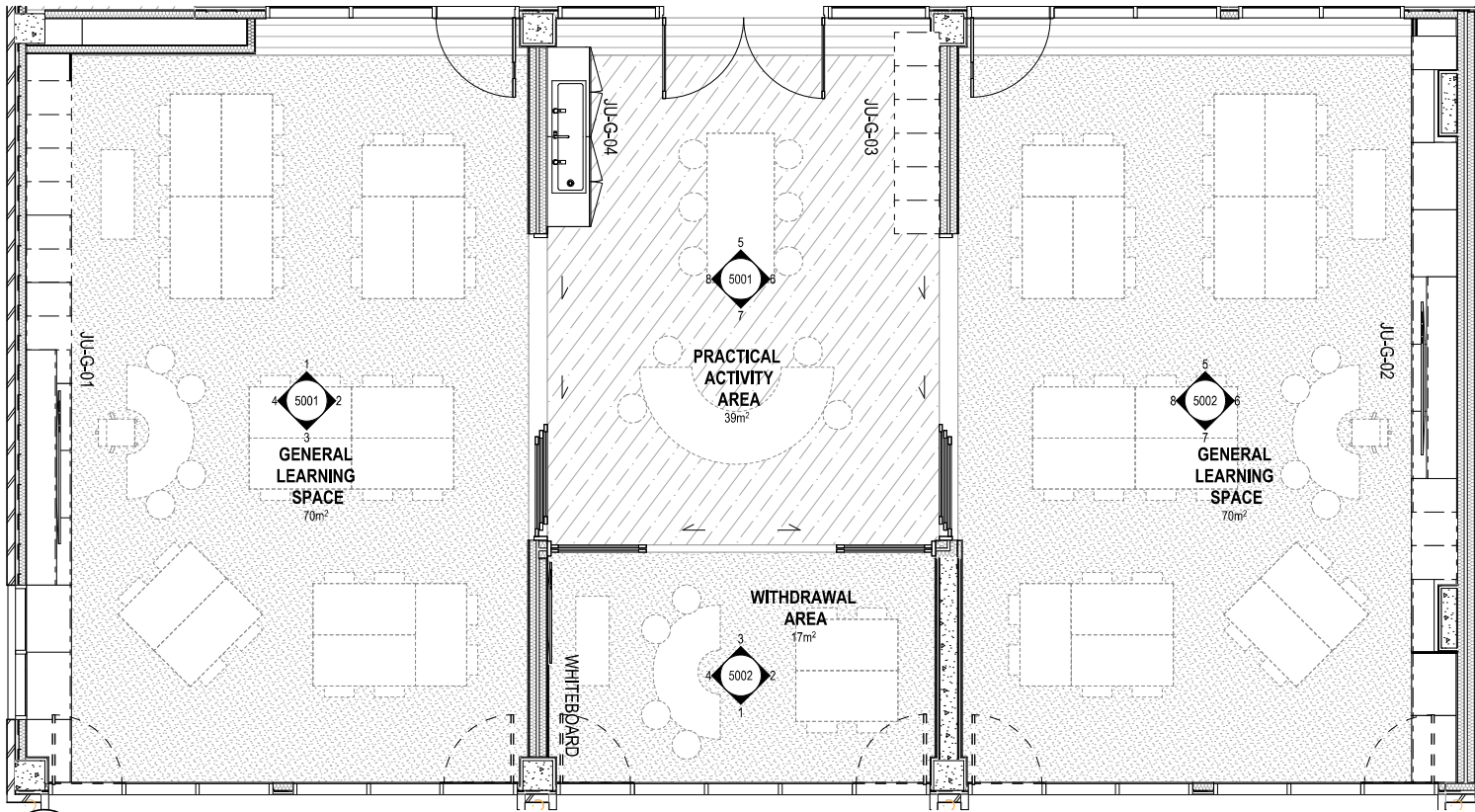
68 PALMER STREET,
CAMMERAY, NSW

TYPICAL FASCIA DETAILS

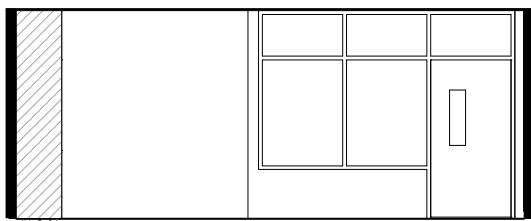
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PROJECT NUMBER **7068CY01** DIRECTOR **JW** CHECKED

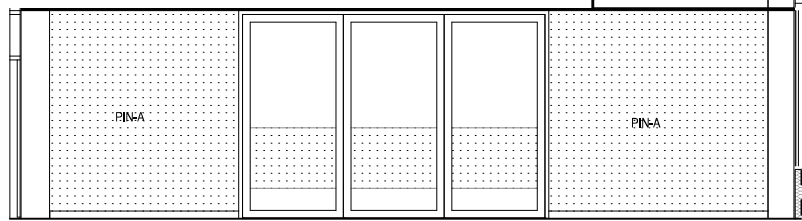
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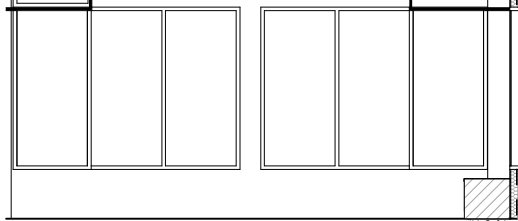
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SCALE: 1:50



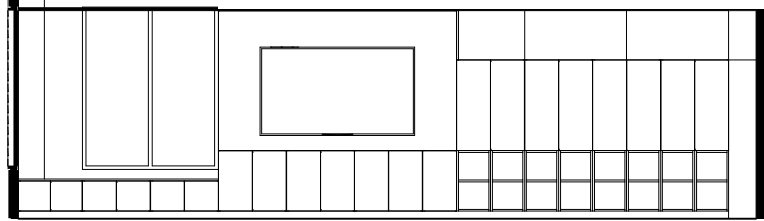
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GLS NORTH
SCALE: 1:50



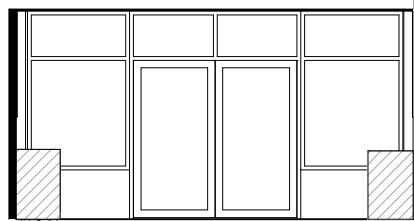
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GLS EAST
SCALE: 1:50



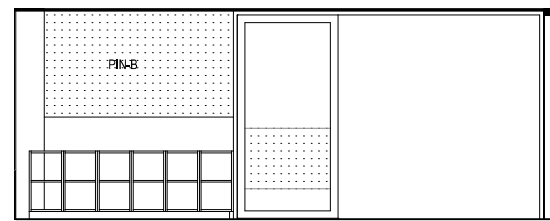
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GLS SOUTH
SCALE: 1:50



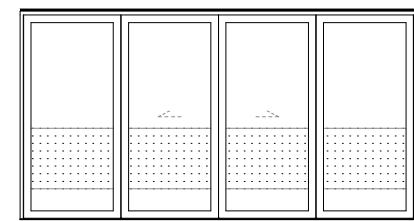
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GLS WEST
SCALE: 1:50



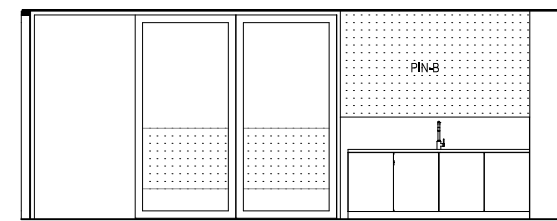
5 ELEVATION
PAA NORTH
SCALE: 1:50



6 ELEVATION
PAA EAST
SCALE: 1:50



7 ELEVATION
PAA SOUTH
SCALE: 1:50



8 ELEVATION
PAA WEST
SCALE: 1:50

150mm @ A1
1100
150

REV	DESCRIPTION	DATE	INIT.
04	100% SCHEMATIC DESIGN - REVISED	11/02/2025	NK
03	100% SCHEMATIC DESIGN	29/01/2025	NK
02	100% SCHEMATIC DESIGN	10/01/2025	NK
01	80% SCHEMATIC DESIGN	13/12/2024	NK

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Paul Sedano, rita, NSW 7160 QLD 3168
Ryan Lovelock, rita, QLD 4505

SCHEMATIC DESIGN
SCHOOL INFRASTRUCTURE
NSW

CAMMERAY PUBLIC SCHOOL

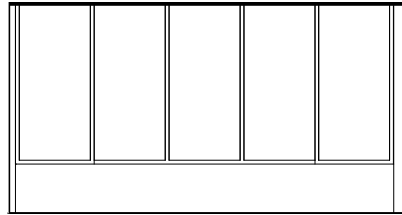
68 PALMER STREET,
CAMMERAY, NSW

ROOM ELEVATIONS 01

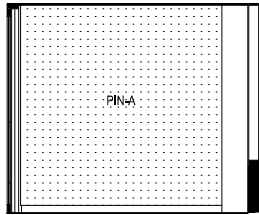
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7068CY01 JW

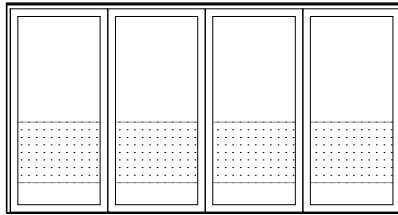
DRAWING NUMBER REVISION
CPS-FTA-B00G-ZZ-DR-A-5001 04



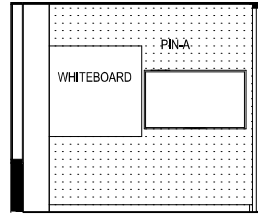
1 ELEVATION
WA SOUTH
SCALE: 1:50



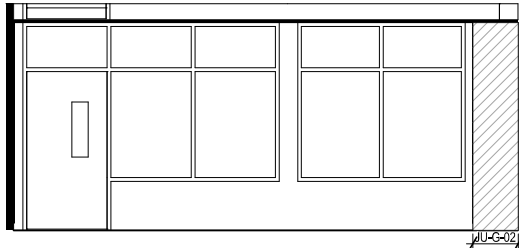
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WA EAST
SCALE: 1:50



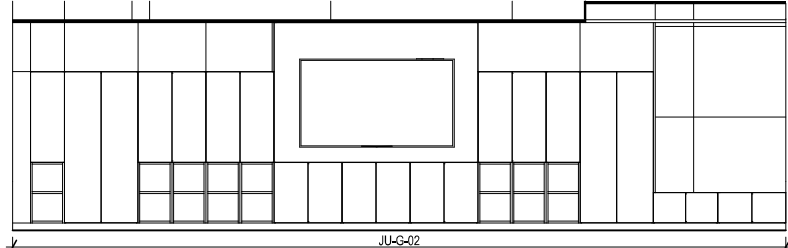
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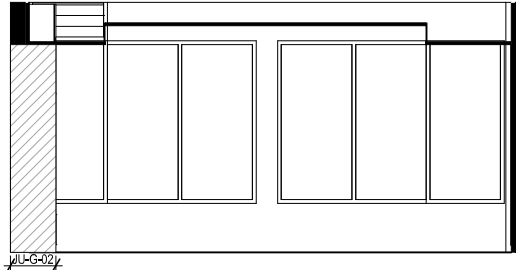
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WA WEST
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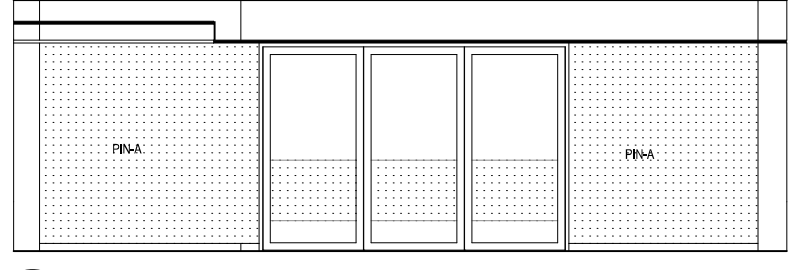
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SCALE: 1:50



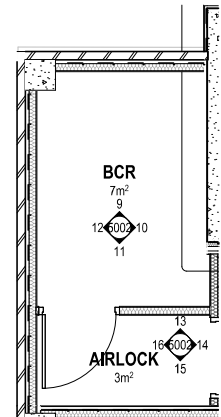
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GLS EAST
SCALE: 1:50



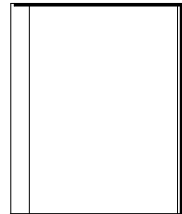
7 ELEVATION
GLS SOUTH
SCALE: 1:50



8 ELEVATION
GLS WEST
SCALE: 1:50



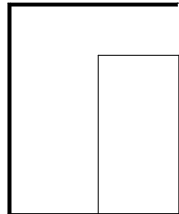
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ROOM LAYOUT PLAN
SCALE: 1:50



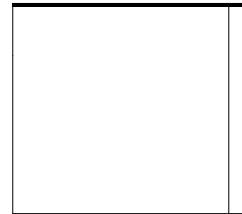
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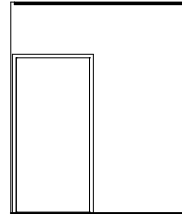
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BCR EAST
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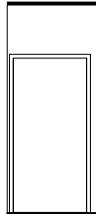
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BCR SOUTH
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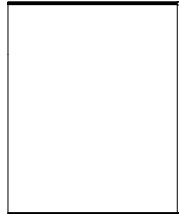
12 ELEVATION
BCR WEST
SCALE: 1:50



13 ELEVATION
AIR NORTH
SCALE: 1:50



14 ELEVATION
AIR EAST
SCALE: 1:50



15 ELEVATION
AIR SOUTH
SCALE: 1:50



16 ELEVATION
AIR WEST
SCALE: 1:50

REV	DESCRIPTION	DATE	INIT.
04	100% SCHEMATIC DESIGN - REVISED	11/02/2025	NK
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02	100% SCHEMATIC DESIGN	10/01/2025	NK
01	80% SCHEMATIC DESIGN	13/12/2024	NK

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Katerina Christopoulos, Paul
Paul Beale, Paul
Ryan Lovelock, Paul
NSW 6855 QLD 2520
QLD 3313
NSW 8371 QLD 3817
NSW 7434 QLD 4528
NSW 7190 QLD 4505

DRAWING PROJECT CLIENT PHASE
SCHEMATIC DESIGN
SCHOOL INFRASTRUCTURE
NSW
CAMMERAY PUBLIC SCHOOL
68 PALMER STREET,
CAMMERAY, NSW

DRAWING
ROOM ELEVATIONS 02
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any work or making shop drawings.
PROJECT NUMBER DIRECTOR CHECKED
7068CY01 JW
DRAWING NUMBER REVISION
CPS-FTA-B00G-ZZ-DR-A-5002 04

150

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Wendy Ward frais
Kathleen Christopoulos frais
David Ezzery frais
Rory Lyndeville frais

VIC 18604

NSW 6855 0800 231230
0800 231230
NSW 3371 0800 231230
NSW 7434 0800 231230
NSW 7160 0800 231230
0800 231230

PROJECT NUMBER	DIRECTOR	CHECKED
7068CY01	JW	
DRAWING NUMBER	REVISION	
CPS-FTA-B00G-ZZ-DR-A-6001	0	



1 PERSPECTIVE
3D VIEW 01
SCALE: 1:2.86



2 PERSPECTIVE
3D VIEW 02
SCALE: 1:2.84

150mm @ A1
100
50

REV.	DESCRIPTION	DATE	INIT.
03	100% SCHEMATIC DESIGN - REVISED	11/02/2025	NK
02	100% SCHEMATIC DESIGN	10/01/2025	NK
01	80% SCHEMATIC DESIGN	13/12/2024	NK
P2	100% CONCEPT DESIGN	14/11/2024	NK
P1	80% CONCEPT DESIGN	18/10/2024	NK

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Katerina Christopoulos Trais
Paul Spikavos Trais
Ryan Lovelock Trais

NSW 6855
QLD 2520
QLD 3313
QLD 3817
NSW 7434
QLD 4528
NSW 7190
QLD 4505

VIC 18804

SCHEMATIC DESIGN
SCHOOL INFRASTRUCTURE
NSW

PROJECT CLIENT PHASE
CAMMERAY PUBLIC SCHOOL

ADDRESS
**68 PALMER STREET,
CAMMERAY, NSW**

PERSPECTIVES 1
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PROJECT NUMBER	DIRECTOR	CHECKED
7068CY01	JW	

DRAWING NUMBER	REVISION
CPS-FTA-B00G-ZZ-DR-A-9001	03



1 PERSPECTIVE
3D VIEW 03
SCALE: 1:2.43



2 PERSPECTIVE
3D VIEW 04
SCALE: 1:3.33

150mm @ A1
100
50

REV	DESCRIPTION	DATE	INIT.
03	100% SCHEMATIC DESIGN - REVISED	11/02/2025	NK
02	100% SCHEMATIC DESIGN	10/01/2025	NK
01	80% SCHEMATIC DESIGN	13/12/2024	NK
P2	100% CONCEPT DESIGN	14/11/2024	NK
P1	80% CONCEPT DESIGN	18/10/2024	NK

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DRAWING PHASE
PROJECT CLIENT
SCHEMATIC DESIGN
SCHOOL INFRASTRUCTURE
NSW
CAMMERAY PUBLIC SCHOOL
68 PALMER STREET,
CAMMERAY, NSW

DRAWING
PERSPECTIVES 2
Figured dimensions take precedence over
scale dimensions. Contractors must verify
all dimensions on site before commencing
any work or making shop drawings.
PROJECT NUMBER DIRECTOR CHECKED
7068CY01 JW
DRAWING NUMBER REVISION
CPS-FTA-B00G-ZZ-DR-A-9002 03



150mm @ A1

REV.	DESCRIPTION	DATE	INIT.
02	100% SCHEMATIC DESIGN - REVISED	11/02/2025	NK
01	100% SCHEMATIC DESIGN	29/01/2025	NK

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SCHEMATIC DESIGN
SCHOOL INFRASTRUCTURE
NSW
CAMMERAY PUBLIC SCHOOL
68 PALMER STREET,
CAMMERAY, NSW

PERSPECTIVES 3
Figured dimensions take precedence over
scale dimensions. Contractors must verify
all dimensions on site before commencing
any work or making shop drawings.

PROJECT NUMBER **7068CY01** DIRECTOR **JW** CHECKED **NK**
DRAWING NUMBER **CPS-FTA-B00G-ZZ-DR-A-9003** REVISION **02**



150mm @ A1
100
50

REV	DESCRIPTION	DATE	INIT.
02	100% SCHEMATIC DESIGN - REVISED	11/02/2025	NK
01	100% SCHEMATIC DESIGN	29/01/2025	NK

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PROJECT CLIENT PHASE
SCHEMATIC DESIGN
SCHOOL INFRASTRUCTURE
NSW
ADDRESS PROJECT CLIENT PHASE
CAMMERAY PUBLIC SCHOOL
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CAMMERAY, NSW

DRAWING
PERSPECTIVES 4
Figured dimensions take precedence over scale dimensions. Contractors must verify all dimensions on site before commencing any work or making shop drawings.
PROJECT NUMBER DIRECTOR
7068CY01 **JW**
DRAWING NUMBER
CPS-FTA-B00G-ZZ-DR-A-9004
CHECKED
NK
REVISION
02

Appendix 4

LANDSCAPE SCHEMATIC DESIGN

CAMMERAY PUBLIC SCHOOL

SCHOOL INFRASTRUCTURE NSW

LANDSCAPE DOCUMENTATION

DRAWING REGISTER

DRAWING NUMBER	DRAWING NAME	SCALE / SIZE	REVISION
CPS-GIL-00-00-DR-L-0001	COVER SHEET	-	G
CPS-GIL-00-00-DR-L-2001	LANDSCAPE MASTERPLAN	1:300 @ A1	L
CPS-GIL-00-00-DR-L-3001	DETAILED LANDSCAPE PLAN 1	1:100 @ A1	J
CPS-GIL-00-00-DR-L-3002	DETAILED LANDSCAPE PLAN 2	1:100 @ A1	C
CPS-GIL-00-00-DR-L-6001	PLANTING PLAN 1	1:100 @ A1	B
CPS-GIL-00-00-DR-L-6002	PLANTING PLAN 2	1:100 @ A1	A
CPS-GIL-00-00-DR-L-9001	LANDSCAPE DETAILS	1:20 @ A1	C

PLANT SCHEDULE

	BOTANICAL NAME	COMMON NAME	MATURE HEIGHT	NATIVE	INSTALL SIZE	SPACING	QUANTITY
TREES							
COR MAC	CORYMBIA MACULATA	SPOTTED GUM	14-16M	√	100L	AS SHOWN	1
TRI LUS	TRISTANIOPSIS 'LUSCIOUS'	WATERGUM	6-8M	√	100L	AS SHOWN	1
SHRUBS							
ACM SMI	ACMENA SMITHII 'MINOR'	LILLY PILLY	2-4M	√	300MM	AS SHOWN	10
BAN BIR	BANKSIA 'BIRTHDAY CANDLES'	HAIRPIN BANKSIA	1M	√	200MM	AS SHOWN	19
DOR EXC	DORYANTHES EXCELSA	GYMEA LILY	1.5M	√	300MM	AS SHOWN	3
SYZ AUS	SYZYGIUM AUSTRALE 'RESILIENCE'	LILY PILLY	2-4M	√	300MM	AS SHOWN	20
RHA COS	RHAPHIOLEPIS 'COSMIC PINK'	INDIAN HAWTHORN	0.8M		300MM	AS SHOWN	9
GROUNDCOVERS & GRASSES							
DIA CAE	DIANELLA CAERULEA	BLUE FLAX LILY	0.8-1M	√	140MM	3 / M ²	18
HAR VIO	HARDENBERGIA VIOLACEA	FALSE SARSAPARILLA	0.3M	√	140MM	6 / M ²	26
HIB SCA	HIBBERTIA SCANDENS	GUINEA FLOWER	0.3M	√	140MM	8 / M ²	58
IMP CYL	IMPERATA CYLINDRICA	COGONGRASS	0.8M	√	140MM	5 / M ²	11
LIR JUS	LIRIOPE 'JUST RIGHT'	LILY TURF	0.5M		140MM	5 / M ²	29
LOM LIM	LOMANDRA 'LIME TURF'	MATT RUSH	0.5M	√	140MM	5 / M ²	28
LOM LON	LOMANDRA LONGIFOLIA	BASKET GRASS	0.6M-1M	√	140MM	5 / M ²	6
PEN NAF	PENNISETUM NAFRAY	SWAMP FOXTAIL GRASS	0.8M		140MM	5 / M ²	24
PRA PUR	PRATIA PURPURASCENS	WHITE ROOT	0.15M	√	140MM	5 / M ²	3
THE AUS	THEMEDA AUSTRALIS	KANGAROO GRASS	0.3-0.5M	√	140MM	5 / M ²	4
TRA ASI	TRACHELOSPERMUM ASIATICUM	ASIAN STAR JASMINE	0.15M		140MM	5 / M ²	20
VIO HED	VIOLA HEDERACEA	NATIVE VIOLA	0.3M	√	140MM	5 / M ²	6



LEGEND

FFL 00.00

FINISHED FLOOR LEVEL

+ EX 00.00

EXISTING SPOT LEVEL

+ RL 00.00

PROPOSED SPOT LEVEL

EXTENT OF WORKS BOUNDARY

STRUCTURAL ROOT ZONE LINE

TREE PROTECTION ZONE LINE

PROPOSED GARDEN BED

PROPOSED SYNTHETIC TURF

PROPOSED VERANDAH

PROPOSED CONCRETE PATHWAY

EXISTING TREES TO BE RETAINED
REFER TO EXISTING TREE SCHEDULE FOR
TREE SPECIES AND HEIGHTS

EXISTING TREES TO BE REMOVED

PROPOSED TREES
REFER TO INDICATIVE PLANT SCHEDULE ON DRAWING
CPS-GIL-00-00-DR-L-0001 FOR TREE SPECIES

STORMWATER PIT
TO ENGINEER'S DETAILS

EXISTING TREE SCHEDULE

ID	BOTANICAL NAME	EXISTING HEIGHT	PROPOSED ACTION
T26	EUCALYPTUS BOTRYOIDES (BANGALAY)	12M	RETAINED
T27	EUCALYPTUS SALIGNA (SYDNEY BLUE GUM)	23M	REMOVE
T28	CORYMBIA MACULATA (SPOTTED GUM)	16M	REMOVE
T29	ACACIA MEARNsii (BLACK WATTLE)	4M	RETAINED
T30	PHOENIX CANARIENSIS (CANARY ISLAND DATE PALM)	5M	RETAINED
T31	CORYMBIA MACULATA (SPOTTED GUM)	18M	RETAINED
T32	CORYMBIA MACULATA (SPOTTED GUM)	18M	RETAINED
T33	CORYMBIA MACULATA (SPOTTED GUM)	18M	RETAINED
T34	CORYMBIA MACULATA (SPOTTED GUM)	18M	RETAINED
T35	CORYMBIA MACULATA (SPOTTED GUM)	18M	RETAINED
T12	CASUARINA GLAUCA (SWAMP SHE OAK)	18M	RETAINED
T13	CASUARINA GLAUCA (SWAMP SHE OAK)	12M	RETAINED
T14	CASUARINA GLAUCA (SWAMP SHE OAK)	12M	RETAINED
T15	CASUARINA GLAUCA (SWAMP SHE OAK)	18M	RETAINED
T16	CASUARINA GLAUCA (SWAMP SHE OAK)	12M	RETAINED

*EXISTING TREE HEIGHTS AND SPECIES SOURCED FROM PRELIMINARY ARBORICULTURAL REPORT BY L&CO CONSULTANCY ARBORICULTURE PLANT PATHOLOGY DATED 21ST FEBRUARY 2023

LANDSCAPE ARCHITECT

GROUND INK

LANDSCAPE ARCHITECTS

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WWW.GROUNDINK.COM.AU ABN 55 163 025 456 ACN 163 025 456
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NOTE

VERIFY ALL DIMENSIONS ON SITE BEFORE COMMENCING WORK. REPORT ALL DISCREPANCIES TO LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION. FIGURED DIMENSIONS TO BE TAKEN IN PREFERENCE TO SCALED DRAWINGS. ALL WORK IS TO CONFORM TO RELEVANT AUSTRALIAN STANDARDS AND OTHER CODES AS APPLICABLE. LOCATION OF UNDERGROUND SERVICES TO BE PROVEN ON SITE AND PROTECTED IF NECESSARY PRIOR TO CONSTRUCTION. DIAL BEFORE YOU DIG. PLANT SPECIES AND QUANTITIES SHOWN ARE INDICATIVE ONLY AND ARE SUBJECT TO CHANGE BASED ON FUTURE PROJECT REQUIREMENTS.

DATE	DATE	DESCRIPTION	DRAWN	CHECKED
D	18.10.24	ISSUE FOR 80% CONCEPT DESIGN	QN	RL
E	13.11.24	ISSUE FOR 100% CONCEPT DESIGN	QN	RL
F	03.12.24	ISSUE FOR 50% SCHEMATIC DESIGN	QN	RL
G	10.12.24	ISSUE FOR 95% SCHEMATIC DESIGN	QN	RL
H	18.12.24	ISSUE FOR 100% SCHEMATIC DESIGN	QN	RL
I	13.01.25	ISSUE FOR 100% SCHEMATIC DESIGN	TL	RL
J	17.01.25	ISSUE FOR 100% SCHEMATIC DESIGN	QN	RL
K	18.02.25	ISSUE FOR 100% SCHEMATIC DESIGN	QN	RL
L	05.03.25	ISSUE FOR 100% SCHEMATIC DESIGN	HI	RL

DRAWING TITLE

LANDSCAPE MASTERPLAN

CPS-GIL-00-00-DR-L-2001

DRAWING NUMBER

PROJECT

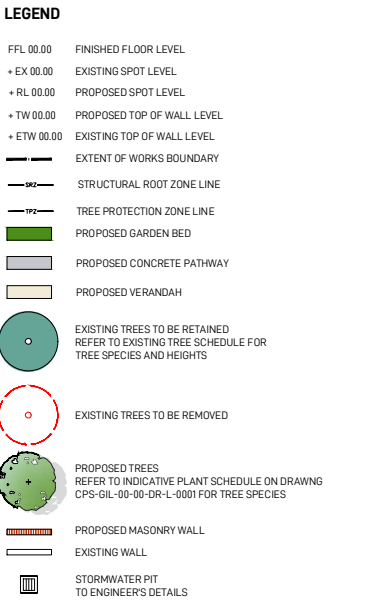
CAMMERAY PUBLIC SCHOOL
CAMMERAY, NSW 2062
PALMER STREET, CAMMERAY NSW 2062

SCALE

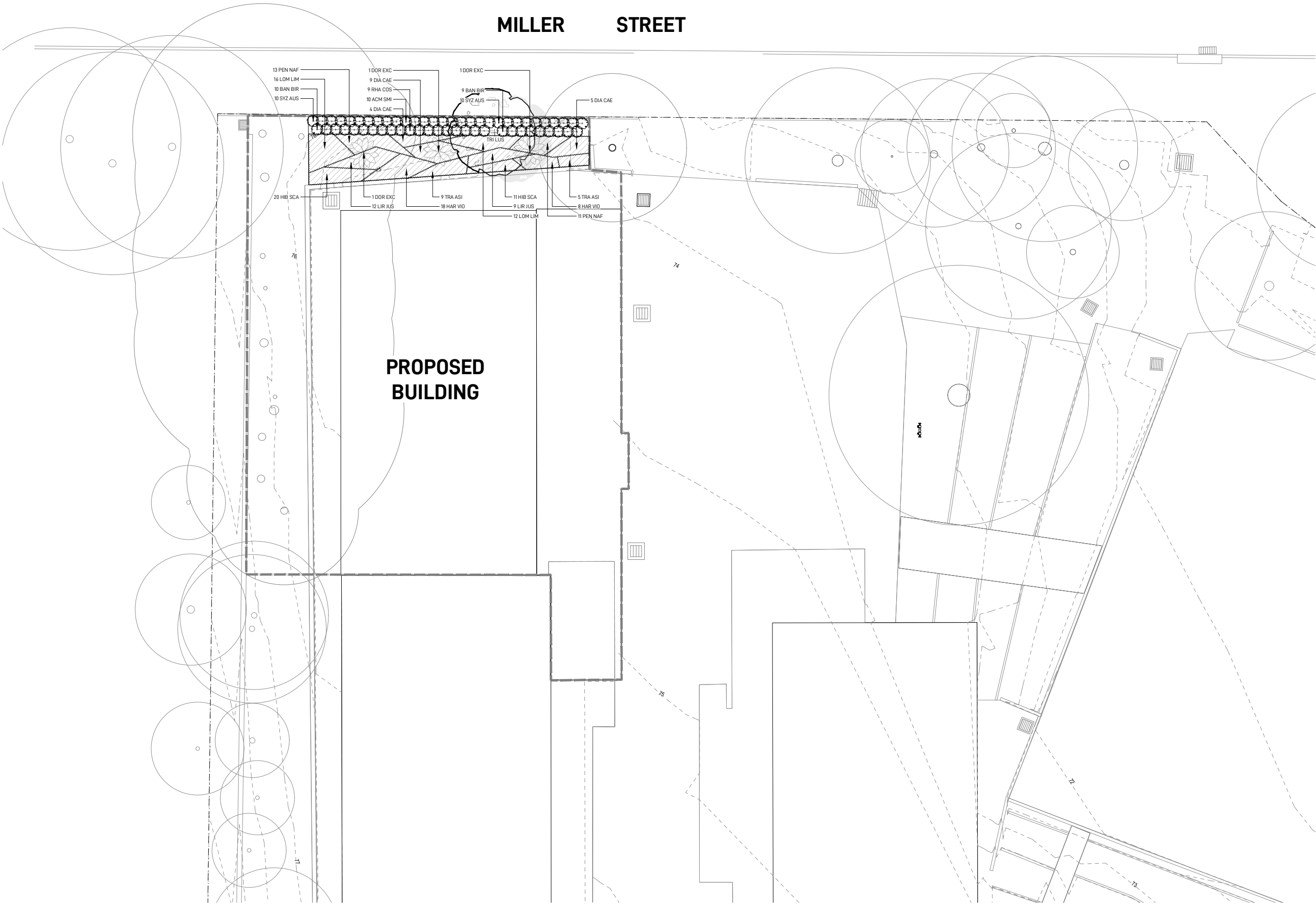
1:300 @A1
0 3 6 9M
1 2 4 6

NORTH

REV L




ID	BOTANICAL NAME	EXISTING HEIGHT	PROPOSED ACTION
T26	EUCALYPTUS BOTRYOIDES (BANGALAY)	12M	RETAINED
T27	EUCALYPTUS SALICINA (SYDNEY BLUE GUM)	23M	REMOVE
T28	CORYMBIA MACULATA (SPOTTED GUM)	16M	REMOVE
T29	ACACIA MEARSII (BLACK WATTLE)	4M	RETAINED
T30	PHOENIX CANARIENSIS (CANARY ISLAND DATE PALM)	5M	RETAINED
T31	CORYMBIA MACULATA (SPOTTED GUM)	18M	RETAINED
T32	CORYMBIA MACULATA (SPOTTED GUM)	18M	RETAINED
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T34	CORYMBIA MACULATA (SPOTTED GUM)	18M	RETAINED
T35	CORYMBIA MACULATA (SPOTTED GUM)	18M	RETAINED
T12	CASUARINA GLAUCOA (SWAMP SHE OAK)	18M	RETAINED
T13	CASUARINA GLAUCOA (SWAMP SHE OAK)	12M	RETAINED
T14	CASUARINA GLAUCOA (SWAMP SHE OAK)	12M	RETAINED
T15	CASUARINA GLAUCOA (SWAMP SHE OAK)	18M	RETAINED
T16	CASUARINA GLAUCOA (SWAMP SHE OAK)	12M	RETAINED



DATE	DATE	DESCRIPTION	DRAWN	CHECKED
A	18.02.25	ISSUE FOR 100% SCHEMATIC DESIGN	QN	RL
B	05.03.25	ISSUE FOR 100% SCHEMATIC DESIGN	HI	RL

Appendix 5

EFSG DEPARTURE SCHEDULE

<div><div><div>Education School Infrastructure</div></div></div> <div>EFSG DEPARTURES</div> <div>SCHEDULE</div>														
PROJECT INFORMATION														
SCHOOL NAMEGroup 2 Program			Prepared By: John Ward			Revision: A		18.12.24		EFSG Edition at Tender Date: <Vxx.xx.xx>				
PROJECT TEAM														
<div>SI Project Director:Architect: Fulton Trotter Architects</div> <div>Contractor:Project Manger: RP Infrastructure</div>														
Contractor/Architect/Consultant Input								Stakeholder Input				Project Management Input		
	EFSG #	EFSG Requirement	Proposed Departure	Reason for Departure	Supporting Appendix or RFI Details Issued	Request by	Date	Stakeholder(s) Response	Other Stakeholder(s) to review	Issuer	Date	Closed Y/N	ESC Approval by	Date
C1		Acoustic Requirements - sliding doors	All sliding doors and internal walls to hub teaching spaces to achieve RW 32 in liue of RW 45 as per EFSG	Standard departure - functionality	-	FTA	24.10.24	XX XX XX XX	XX, XX	XX	XX.XX.XX	N	XX, XX	
C2		Ceiling Void Ventilation	REMOVE REQUIREMENT FOR ROOF VENTILATORS option for not using require installation of roof ventilators/"whirly birds"	Standard departure - functionality - Roof ventilators should not be provided as they are leaky, reducing the effectiveness of air conditioning and energy consumption due to uncontrolled infiltration of outdoor air and allow large amounts of noise in from outside.	-	FTA	24.10.24	XX	XX, XX	XX	XX.XX.XX	N	XX	
C3	DG45	Ceilings - FC Sheeting to Wet Areas	DG45 nominates fibre cement sheeting to all wet area ceilings. It is proposed to use moisture resistant plasterboard.	Standard departure - moisture resistant plasterboard is cheaper and quicker to install	-	FTA	24.10.24	XX	XX, XX	XX	XX.XX.XX	N	XX	
C4		Coloured Concrete	Standard grey concrete to be used for paving areas	Standard departure - functionality - coloured concrete is prone to cracking and requires smaller pours hence more cost.	-	FTA	24.10.24	XX	XX, XX	XX	XX.XX.XX	N	XX	
C5		Concrete Classification	Require class 3 concrete finish to all unexposed areas and class 2 for exposed concrete	Standard departure - functionality	-	FTA	24.10.24	XX	XX, XX	XX	XX.XX.XX	N	XX	
C6		hot dip glvanising to internal steel	Alternative paint system to structural steel (internal – external to remain as HDG)	Standard departure - functionality	-	FTA	24.10.24	XX	XX, XX	XX	XX.XX.XX	N	XX	
C7		Ventilation System to Comms Rooms	Remove requirement for exhaust ventilation system to the Comms Rooms.	Standard Departure - SINSW ICT/ITD always require A/C spilt systems to all comms rooms and as such exhaust systems are redundant and a waste of time & money.	-	FTA	24.10.24	XX	XX, XX	XX	XX.XX.XX	N	XX	
C8		Internal Sliding Door Acoustics	Internal GLS sliding doors are required to meet RW45 acoustic values under the EFSG requirements. Slidng doors to acheive RW 32.	Standard Departure - This requirement is not achievable with the current EFSG Hub layouts with the GLS spaces often designed with operable shared walls for maximum flexibility.	-	FTA	24.10.24	XX	XX, XX	XX	XX.XX.XX	N	XX	
C9		Warranties	Rationalise warranty periods in general - accept warraties available to industry	Standard departure - functionality	-	FTA	24.10.24	XX	XX, XX	XX	XX.XX.XX	N	XX	
C10		Rain noise barrier	Delete rain noise layers to ceilings (Wavebar or solid lining above acoustic ceiling) where there are metal roofs above	Standard departure - functionality	-	FTA	24.10.24	XX	XX, XX	XX	XX.XX.XX	N	XX	
C11		Smart lighting	Remove Smart Lighting Control e.g C-Bus revert back to 240V and sensors	Standard departure - functionality	-	FTA	24.10.24	XX	XX, XX	XX	XX.XX.XX	N	XX	
C12		Windows	Remove requirement to use "PWD SUITE NO2" - accept semi commercial alternative suite	Standard departure - functionality	-	FTA	24.10.24	XX	XX, XX	XX	XX.XX.XX	N	XX	
C13	Pattern Book	3400mm high ceiling in front of windows to the GLS	Additional bulkheads are provided to the edges of the GLS reducing the width of the 3400mm high ceiling	The additional bulkheads are required to allow for mechanical ductwork and vents to connect to the external wall of the building	The changes is noted as acceptable in principle in the Pattern Book documentation.	FTA	18.12.24	XX	XX, XX	XX	XX.XX.XX	N	XX	
C14	DG40.01	Clear anodised aluminium window framing ("no colour anodising or powder coating required").	The Pattern Book design includes colours (powdercoat) for external aluminium framing (doors, windows, trims)	Compliance with Pattern Book requirements.		FTA	19.12.24	XX	XX, XX	XX	XX.XX.XX	N	XX	

PROJECT INFORMATION					
SCHOOL NAME		Cammeray Public School	Prepared By: John Ward	Revision: A	Date: 24.10.24
PROJECT TEAM					
SI Project Director:		Architect: Fulton Trotter Architects			
Contractor:		Project Manger: RP Infrastructure			

Contractor/Architect/Consultant Input								Stakeholder Input				Project Management Input		
Item #	EFSG #	EFSG Requirement	Proposed Departure	Reason for Departure	Supporting Appendix or RFI Details Issued	Request by	Date	Stakeholder(s) Response	Other Stakeholder(s) to review	Issuer	Date	Closed Y/N	ESC Approval by	Date
1	Pattern Book	Standard Hub Layout Configuration	Teaching spaces are not in compliance with the configuration of the Pattern Book and the Standard Hub Layouts	Existing site restrictions and space limitations	-	FTA	24.10.24	XX XX XX XX	XX, XX	XX	XX.XX.XX	N	XX, XX	
2	Pattern Book	Roof Configuration	Proposed roof is not a 4deg pitched roof falling to the boundary side of the building.	The roof has been arranged to be a continuation of the existing Building E roof - as this project is an expansion to that building	-	FTA	24.10.24	XX	XX, XX	XX	XX.XX.XX	N	XX	
3	Pattern Book	Height of Roof	The clear height under the roof at the edge of the verandah is 2100mm	This is due to the extension of the existing roof form and the wider verandah in the proposed building	-	FFA	24.10.24	XX	XX, XX	XX	XX.XX.XX	N	XX	
4	DoE Structured Cabling Systems Specifications	One (1x) Building Communications Room to be included in the core of each level of the proposed building	Proposed building is to have one BCR only located on the ground floor.	Based on the EFSG pattern book, only one BCR is required in the core of a building of up to three levels.	Patternbook_Vol_2_-_Building_Components_-_Rev_4, 3.4 comms strategy	NDY	25.10.24	XX	XX, XX	XX	XX.XX.XX	N	XX	
5	DoE Structured Cabling Systems Specifications	The Building Communications Room (BCR) is required to have minimum internal dimensions 3000mm x 2800mm with a 2700mm minimum ceiling height.	New BCR shall be 3000mm x 2800mm, but will have a ceiling height reduction where it extends underneath the stairs.	The plan area (3000mm x 2800mm) complies with the EFSG requirements. Rack location can be adjusted to ensure adequate overhead clearance and access to the sides and rear. Additionally, the proposed new block comprises only four (4x) new teaching spaces. Smaller equipment can be used than those specified in the Cabling Systems Specification.		NDY	25.10.24	XX	XX, XX	XX	XX.XX.XX	N	XX	
6	DoE Structured Cabling Systems Specifications	MCR specifications as per section 6.4 of the DoE Structured Cabling Systems Specifications.	Existing MCR within block A shall be maintained with upgrades as per the ICT summary.	Block A is a heritage building which would make replacement of the MCR difficult. Existing location and racks (with upgrades as per the ICT summary) are still fit-for-purpose and maintaining them would be more cost-effective.		NDY	25.10.24	XX	XX, XX	XX	XX.XX.XX	N	XX	
7	-	Campus backbone security and communications fibre is to be run within separate conduits and pits.	Communications and security fibre to be reticulated together using existing in-ground conduit routes.	Conduit route is located in an area where trenching would be difficult. Utilising existing conduits would reduce costs.		NDY	25.10.24	XX	XX, XX	XX	XX.XX.XX	N	XX	
8	0001C Design Checklist - Electrical Services	At least one (1x) EDB per level.	One (1x) EDB serving both floors, to be located in a cupboard on the ground floor.	The proposed building comprises only 4 learning spaces, which can be supplied from a single EDB. Additionally, avoiding a second EDB on the first floor will provide adequate space for inverter(s) and a riser.		NDY	25.10.24	XX	XX, XX	XX	XX.XX.XX	N	XX	
9	0001C Design Checklist - Electrical Services	EDBs should be located such that all equipment supplied is within a 25m radius of the EDB.	One (1x) EDB to be located within the core of each level of the proposed new building, serving equipment within a 45m radius.	Based on the EFSG patternbook, a single EDB in the core of the level 1 is appropriate for supplying the entire building. This also allows EDBs to be away from student areas and improves maintenance personnel access.	Patternbook_Vol_2_-_Building_Components_-_Rev_4, 3.5 Electrical Strategy	NDY	25.10.24	XX	XX, XX	XX	XX.XX.XX	N	XX	
10	0001C Design Checklist - Electrical Services	The Main Switchboard (MSB) is to be located in a Main Switchroom required to have one straight wall of minimum length 3m for a MSB length of up to 2.4m	Installation of a new Main Switchboard located in situ to existing (to be demolished), within Main Switchroom of dimensions 2000mm (W) x 1000mm (D)	MSB can be located internally and avoids works to Block A (heritage) to expand MSR	0001C Design Checklist - Electrical Services	NDY	25.10.24	XX	XX, XX	XX	XX.XX.XX	N	XX	
11	Pattern Book	Downpipes should be avoided on the verandah side of the building	Downpipes are proposed to the verandah side of the roof.	Due to the form of the roof - in order to match to Building E - downpipes are required on the verandah side of the building. Additional protection is proposed to be provided to avoid climbing risks.	-	FTA	25.10.24	XX	XX, XX	XX	XX.XX.XX		XX	

Appendix 6

RFI TRACKER

Cammeray Public School									
Item	Title	Description	Date Raised	Raised By (Org)	Raised By (Contact)	Action Required By	Due Date	Status	Comments
1	Design Review	Test Master plan reivew options against standard hub layout + connection to existing building E modification to stairs / location	7/23/2024	SINSW IP Team	Ant Courtman	Architect - FTA	7/31/2024	Complete	Meeting with EFSG (DAIS) for feedback 5/06/2024. * Preference for independent access from corridor for each GLS * Plus access from PAA to each GLS
2	Design	New building options: * connect to existing levels of Building E + stair modifications * move stair closer to western boundary to improved access/egress to GLS	7/23/2024	BCA / DDA	Daniel Murrow (DM)	Architect - FTA	7/31/2024	In progress/Assigned	Refer to Design Tracker
3	Stakeholders	Transport Working Group meeting dates / membership	7/23/2024	SINSW IP Team		SINSW IP Team	8/8/2024	In progress/Assigned	
4	Site Investigations / Due Diligence	* Gap analysis ICT capacity / capability of existing services vs new build EFSG scope * Capacity of Building E to serve the new build for power, ICT and mechanical supply * Preliminary enquiry request to energy authority for current capacity of the school.	7/23/2024	Project Manager	Matt Spooner	Electrical - NDY	8/7/2024	Closed	Refer to Design Tracker
5	Design	Pan / amenities count	23/07/2024 8/07/2024 Design meet	BCA / DDA	Daniel Murrow (DM)	Architect - FTA	23/07/2024	Closed	Gap analysis required Refer to design Tracker
6	Due Diligence	Survey review by all design consultants & advise of any additional scope required	7/23/2024	SINSW IP Team	Carolina Vuoso (CV)	Other	8/7/2024	Closed	All comments received. Update Survey plan issued with services information
7	Design - DDA	Advice re compliance of site for principal entry point following master plan review	7/23/2024	Project Manager	Matt Spooner	BCA / DDA	8/15/2024	Complete	BCA advised that new building is an "add on" to existing Building E as a United Building, no new compliant access is required to be built
8	Due Diligence - existing hydrant booster	Non-compliance of existing hydrant booster information to be issued for AMU action.	7/23/2024	Fire - ACOR	Burt de Keyzer (BdK)	SINSW AMU	7/26/2024	Complete	Issued via email to SI 26/07/2024
9	Due Diligence - arborist tree root mapping	* Tree root mapping required, western and southern boundary of the construction zone, to support structural system for new building	7/23/2024	Structural - Meinhardt		SINSW IP Team	8/8/2024	Open/To be assigned	Arborist site inspection 15.08.24. Meeting with Arborist 26.08.24 identified trees TPZ impacted, Building location to be reviewed by SINSW/Project team
10	Cost Plan	* Allowance for suspended slab to be advised following arborist tree root mapping completed	7/23/2024	Cost Manager - Arcadis	Vincent Caspe (VC)	Cost Manager - Arcadis	8/30/2024	In progress/Assigned	
11	Cost Plan	* Current allowance scope 4 GLS over 2 levels * No new major upgrade to existing services included: return advice to be provided following inspections and design development	7/23/2024	Cost Manager - Arcadis	Vincent Caspe (VC)	Other	8/30/2024	In progress/Assigned	All services consultants
12	Off Site Scope (infrastructure)	* Review RTA for scope for costing \$250k allowance	7/23/2024	Cost Manager - Arcadis	Vincent Caspe (VC)	SINSW IP Team	8/8/2024	In progress/Assigned	
13	Design Documentation	Remove reference to demountables as they are no longer on site	7/23/2024	Town Planner	Lauren Daley (LD)	Architect - FTA	7/31/2024	In progress/Assigned	Refer to Design Register
14	Waste Management information	Planner to advise on requirements	7/23/2024	Project Manager	Matt Spooner	Town Planner	8/8/2024	In progress/Assigned	
15	Acoustic advice requirements	Statutory planning requirements	7/23/2024	Town Planner	Debra Barr (DB)	Electrical - NDY	8/7/2024	In progress/Assigned	
16	Building services maintenance	Clearance requirements	7/23/2024	Fire - ACOR	Burt de Keyzer (BdK)	SINSW AMU	8/7/2024	In progress/Assigned	
17	As-built drawings	Buildings E and F - hydraulics are not currently available: * Check directly with the school * Town Planner GIPA request * SINSW to check with Public Works	7/23/2024	Fire - ACOR	Burt de Keyzer (BdK)	SINSW IP Team	8/22/2024	In progress/Assigned	15.08.24: SINSW to seek further information from Public Works Planner awaiting Council response to GIPA 26.08.24: Design team responded with comments for surveyor scope
18	Design	Existing Building E ventilation to western edge to be considered - mould noted in the underfloor area.	7/23/2024	Project Manager	Matt Spooner	Mechanical - NDY	8/30/2024	Closed	7/08/2024 RPI issued Photos to SINSW Delivery for issuing to AMU for existing issue. (copy issued to NDY).
19	Design	Option 1 stair to the left + remove central shared stair Option 3 central stair extended and extended; external access for each GLS; internal access to PAA from each GLS * Travel distances to be reviewed by BCA for each option - closed all compliant	8/5/2024	SINSW IP Team	Ant Courtman	BCA / DDA	8/7/2024	Closed	6/08/2024 BCA endorsed travel distances for both Options 1 + 3 7/08/2024 Naming convention for options - maintain Options 1 + 2 Refer to Design Register
20	PCG	Options 1 + 3 as updated (5/08/2024) to be reviewed by DEL / School with m2 removed from plans	8/7/2024	Architect - FTA		SINSW IP Team	8/16/2024	Complete	7/08/2024 PCG Endorsed Option 1 * external corridor space maximised for inpromtu learning space * PAA space to include multi-purpose/withdrawal space if possible * Scope and budget alignment required with priority to maximise teaching space spend
21	Due Diligence	Existing Toilet Pan count is under the requirement specified in the EFSG	8/7/2024	Architect - FTA	Niloo K	Architect - FTA	8/29/2024	Complete	SINSW issued out information on Pan Count. FT to reference this document when finalising the Masterplan Validation Report
22	Capital works	Query upcoming/planned capital works by AMU/school for consideration.	16/08/2024	Project Manager	Jeanette Carney	SINSW AMU	23/08/2024	Closed	Project now delivered by the AMU team.
23	Latest look	Photos of latest teaching spaces to show the PRG	16/08/2024	Project Manager	Matthew Spooner	SINSW IP Team	#VALUE!	Open/To be assigned	
24	Annual Fire Saffety Statement	Please provide a valid ASFF for 2024	10/9/2024	Fire - ACOR		SINSW AMU	9/24/2024	Complete	
Press tab in the last cell of Column J to create a new line									
26	Heritage and Planning pathway	The direction from SINSW Stat Planning is to pursue a REF pathway	9/18/2024	SINSW Statutory Planning					
27	Existing Electrical Conduits	It's proposed that the cabling to the new building runs within existing communications and power conduits behind Block C. We need confirmation that these conduits have sufficient spare capacity to accommodate new cables.	22/10/2024	Electrical - NDY	Beau Carner	Project Manager	11/1/2024	Open/To be assigned	Scope request / drawing to NDY 25/10/2024
28	Emergency Power Requirement	EFSG "0001c Design Checklist - Electrical Services" indicates emergency power supply requirements for schools that "are at risk of power loss due to bushfire, flood, adverse weather events and schools identified as a community evacuation facility (CEF)". Could you please indicate whether the school meets any of the criteria listed above and hence whether the emergency power supply requirements are to be included.	22/10/24	Electrical - NDY	Peter Santamaria	SINSW AMU		Closed	RFI to SI AMU 28/10/2024 EFSG confirmed school doesn'y need emergency power

Appendix 7

SAFETY IN DESIGN REGISTER

Project Name: Cammeray Public School

Safety in Design Risk Assessment

HAZARD & HARM IDENTIFICATION				INITIAL ANALYSIS				CONTROLS	INITIAL ANALYSIS - 1			SUBSEQUENT ANALYSIS - 2			ACTIONS REQUIRED	BY WHOM	RESPONSIBILITY	DATE DUE	REMARKS	STATUS
	HAZARD		RISK	ENTITY AFFECTED	LIKELIHOOD	CONSEQUENCE	RISK RATING	HIERARCHY OF CONTROL		LIKELIHOOD	CONSEQUENCE	RESIDUAL RISK	LIKELIHOOD	CONSEQUENCE	RESIDUAL RISK					
SH.01	Hazardous Materials	Asbestos has been identified in ground elsewhere on the site.	If disrupted causes a hazard those in the surrounding area.	Staff / Students / Construction Workers	Possible	Major	HM-8		Contractors to review soils in areas that are being disrupted as part of the works.	Possible	Moderate	M-13				Existing hazardous materials register to be provided to contractors.	RPI / SINSW	15.02.25		
D.01	Removal of Existing Demountables	Deconstruction and removal off site of Existing Demountables from site.	Potential injury to others in the proximity of the demountables while being relocated or to construction workers due to restricted access to demountables.	Staff / Students / Construction Workers	Very Likely	Major	H-7		Demountable Contractors to provide safe work methodology	Possible	Moderate	M-13				Confirm timing for demountable removal	RPI / SINSW	01.06.25		
D.02	Demolition of Existing Elements of Building E	Demolition of existing stairs and eaves overhang to Existing Building E	Damage to the existing building and potential injury of students and staff in proximity.	Staff / Students / Construction Workers	Possible	Severe	H-3		Work to be undertaken when Building E is vacated. Consideration to be given to completing the work outside of school hours. Contractors to provide safe work methodology	Possible	Moderate	M-13				Contractor to consider in construction management plan.	RPI / SINSW	01.06.25		
D.03	Demolition of Existing Trees	Demolition of Existing Trees to Miller Street Frontage	Potential injury of students and staff in proximity.	Staff / Students / Construction Workers	Possible	Severe	H-3		Contractors to provide safe work methodology. Consideration to be given to completing the work outside of school hours. Contractors to provide safe work methodology	Possible	Moderate	M-13				Contractor to consider in construction management plan.	RPI / SINSW	01.06.25		
C.01	Traffic and Pedestrian Management	Works outside builder's compound.	Student and Staff safety encountering works within School grounds outside builder's compound. Eg Site Service upgrades.	Students and Staff	Very Likely	Major	H-7		Out of hours works.	Unlikely	Moderate	L-14				Confirm requirement for construction management plan from D&C contractor	RPI	17.01.25		
C.02	Traffic and Pedestrian Management	Before and After School access during construction	Shared access with the School for before and after School care as well as vacation care. New path/route to be considered.	Staff/ Students/ Parents	Very Likely	Major	H-7		Contractor to establish safe working practices as part of construction management plan.	Unlikely	Moderate	L-14				Confirm requirement for construction management plan from D&C contractor	RPI	17.01.25		
C.03	Traffic Routes and Control	Construction access off Miller Street	Construction access from Miller Street creates potential clashes with vehicles and pedestrians. Also need to manage emergency vehicle access through the construction site.	Pedestrians / Staff / Students	Very Likely	Major	H-7		Contractors to implement appropriate fencing and traffic control measures.	Unlikely	Moderate	L-14				Confirm requirement for construction management plan from D&C contractor	RPI	17.01.25		
C.04	Adjoining Areas - Block E	New work is located close to existing Block E. Structure to be reviewed to ensure it doesn't impact on existing structures.	Collapse of existing structure	Staff / Students / Construction Workers	Possible	Major	HM-8		Structural engineers to review footing and temporary shoring requirements prior to construction. Contractor to provide appropriate dust control measures during the construction phase. Building E classrooms to be vacated during the construction period - if possible.	Unlikely	Moderate	L-14				Structural engineers to review footing and temporary shoring requirements	RPI	01.06.25		
C.05	Adjoining Areas	New work adjacent to existing trees - Tree Protection Zones to be maintained during construction.	Damage to existing trees leading to collapse	Staff / Students / Construction Workers	Possible	Major	HM-8		Contractor to review impact on TPZ - including impact of scaffolding.	Unlikely	Moderate	L-14				Confirm requirement for TPZ from D&C contractor. Refer to the mitigation measures highlighted in the REF package.	RPI	15.02.25		
C.06	Noise Impact	Construction noise could impact on neighbouring residential properties as well as classrooms.	Impact on classroom functionality or hearing of students and staff	Staff / Students / Neighbouring properties	Possible	Moderate	M-13		Noise impacts to be considered in Construction Management plan. Consider removing classes from Building E (and potentially F) during the construction period.	Unlikely	Moderate	L-14				Confirm requirement for Noise management from D&C contractor	RPI	01.06.25		
C.07	Trenching	Trenching works will be required through school areas - outside of the construction zone.	Risk of staff / students or public falling into open trenches	Staff / Students / Public	Very Likely	Major	H-7		Construction Management Plan to be prepared to allow for trenching to be completed outside of school hours.	Unlikely	Moderate	L-14				Confirm requirement for construction management plan from D&C contractor	RPI	17.01.25		
C.08	Electrical Shutdown	Changeover of Electrical Substation / Power Supply could impact on operations of School	Loss of power unexpectedly could damage equipment	Staff / Students	Very Likely	Moderate	M-12		Construction Management Plan to be prepared to allow for electrical shutdown to be completed outside of school hours and that appropriate notice is provided to the school.	Unlikely	Moderate	L-14				Confirm requirement for construction management plan from D&C contractor	RPI	17.01.25		
C.09	Working at Heights	WAP replacement in existing areas will need to be completed on high ceilings	Risk of falling during operation	Contractors	Possible	Major	HM-8		Contractor to establish safe working practices as part of construction management plan.	Possible	Minor	L-18				Confirm requirement for construction management plan from D&C contractor	RPI	17.01.25		
C.10	Emergency Egress During Construction	Emergency Egress Paths to be Reviewed in Building E during Construction - following removal of existing stair	Risk of restrictions to students and staff being able to evacuate building	Staff / Students	Very Likely	Severe	H-2		Contractor to establish temporary egress paths for the construction period.	Possible	Minor	L-18				Confirm requirement for construction management plan from D&C contractor	RPI	17.01.25		
C.11	Adjoining Areas - Retaining Wall	New work is located close to the existing retaining wall to the South	Collapse of existing structure and trees	Staff / Students / Construction Workers	Possible	Major	HM-8		Contractor to review the footings to the retaining wall on site. Any demolition in the area to be undertaken carefully and reviewed with a structural engineer prior to commencing.	Unlikely	Moderate	L-14				Confirm requirement for construction management plan from D&C contractor	RPI	15.02.25		
U.01	Finger Entrapment	Finger Entrapment	Finger entrapment in sliding doors and windows	Students	Very Likely	Moderate	M-12		Ensure operation of sliding doors doesn't create entrapment zones at handles or framing.	Unlikely	Minor	L-19				Details of sliding doors to be reviewed in greater detail at DD phase	Architect	01.06.25		
F.01	Out of Bounds Areas	The location of the new building creates new areas of low visibility to the rear of the building.	Could pose a risk to child safety	Students	Possible	Moderate	M-13		School to develop new out of bounds policies to suit the new building.	Unlikely	Moderate	L-14				School to update out of bounds and play time policy	SINSW	01.06.26		
F.02	Maintenance at Heights	Risk of falling while servicing the Solar Panels on the roof	Falling from roof	Staff / Contractors	Possible	Major	HM-8		Supply Safe Roof Access system along with a management plan with appropriate connection points ground PV cells	Unlikely	Moderate	L-14				Details of Safe Roof Access system to be confirmed with contractor during DD phase	Contractor	01.06.26		
F.03	Maintenance at Heights	Maintenance required for leaf fall affecting the gutters	Falling from roof while servicing gutters	Staff / Contractors	Possible	Major	HM-8		Supply gutter guard to keep leaves out of gutters and downpipes. A safe roof access system should also be provided to allow access to the gutters	Unlikely	Moderate	L-14				Confirm requirements for contractor in documentation	FTA	17.01.25		
F.04	Maintenance of Drainage Pits	Maintenance required for leaf fall affecting drainage pits	Leaf fall blocking drainage pits causing overflow water	Staff / Contractors	Possible	Moderate	M-13		Pit baskets or liners to be provided within drains in the area under the trees. A maintenance regime should be developed to keep the drains cleared.	Unlikely	Minor	L-19				Confirm requirements for contractor in documentation	FTA	17.01.25		

Appendix 8

DESIGN COMMENTS TRACKER

Design Comments Tracker

- Consultants are to ensure comments captured are addressed in future design submissions/packages.
- Consultants to status their progress in the relevant column to confirm they have addressed the item. The Item Status is to remain open until the item has been presented to the relevant stakeholders for review and closeout. The overall status will be confirmed by RPI/FT/SINSW.

Cammeray Public School														
Item	Team	Date Raised	Phase		Subject	Item	Actions	Action Required By	Date Due	Item Status DO NOT ADJUST. FT/RPI TO AMEND FOLLOWING MEETING REVIEWS	Consultant's recommended status	Further Actions/Updates/Comments. If the item is closed, this section is to include a reference on how it was closed and drawing/report reference.	Date Closed DO NOT AMEND. FT/RPI TO AMEND FOLLOWING MEETING	Consultant's comments
1	DTM	7-Aug-24	Phase 2	Amenities Requirement	Existing	Existing Amenities count and gap study to be done	Toilet count of the existing amenities on site to be confirmed in need to be done SI to validate the counts based on AMU references (Due Date: 14/08/2024)	Architect - FTA	14-Aug-24			SI and RP to provide further details from GA		
3	DTM	7-Aug-24	Phase 2	General/ Architectural	Naming	Options naming convention to be considered for more clarity - Option 1&3 to be updated to 1&2 for further reviews	Updating the options to new naming order (Due Date: 08/08/2024)	Architect - FTA	8-Aug-24	Complete	Complete	Updates captured		
4	DTM	7-Aug-24	Phase 2	General/ Architectural	Survey	Existing Site plan including all existing items based on Survey	To be issued to services (Due Date: 09/08/2024)	Architect - FTA	9-Aug-24	Complete	Complete	Site plan is issued as a part of masterplan		
5	DTM	7-Aug-24	Phase 2	Survey Issue	Survey	Demountables to be removed from survey file	Updated DWG to be provided for teams (Due Date: 09/08/2024)	SINSW IP Team	9-Aug-24	Complete	Complete	Updated survey is on share point		
6	DTM	7-Aug-24	Phase 2	General/ Architectural	Layout	Option 1 to be reviewed for stairs and lift layout for possibility of having an external PAA as directed on PCG	Architecture to work on the layout (Due Date: 09/08/2024)	Architect - FTA	9-Aug-24	Hold / Deferred		To be developed as a part of concept		
7	DTM	7-Aug-24	Phase 2	Planning Issue	Cost Plan	Existing cost plan is for 72sqm PAA for both levels	Next Key action is to revalidating cost plans and considering where can be found more fund incorporating to have bigger PAA (Due Date: 12/08/2024)	SINSW IP Team	12-Aug-24					
8	DTM	7-Aug-24	Phase 2	Arborist Issue	Arborist	Arborist to confirm tree strategies on areas of TPZ clashing to the building footprint	SI to manage and organise a meeting with Arborist (Due Date: 09/08/2024)	SINSW IP Team	9-Aug-24	Complete	In progress/Assigned	SI organised meeting with Arborist , further information being provided and coordination will be occured on the the design process		
9	DTM	7-Aug-24	Phase 2	Project Admin/ Master plan Validation	Due diligence	Requesting for information from other disciplines / Reporting of Due Diligence for Master plan Validation.	Requesting for information from other disciplines Consultant team to provide initial recommendations and risks from due diligence for inclusion in Maser Plan Validation report by Thursday 8th August (Due Date: 08/08/2024)	All	8-Aug-24	Complete	Complete			
10	DTM	7-Aug-24	Phase 2	Electrical / ICT	Electrical	Allocation to IT budget & ICT upgrade	Confirm budget support for upgrade (Due Date: 12/08/2024)	SINSW IP Team	5-Sep-24	Complete		Allow for no upgrades to existing infrasture - just providing ICT for the new building only.		
11	DTM	7-Aug-24	Phase 2	Electrical / ICT	Electrical	Existing IT structure to be reviewed and investigated for option of upgrades	Confirm what upgrade required (Due Date: 08/08/2024)	Electrical - NDY	8-Aug-24	Complete				
12	DTM	7-Aug-24	Phase 2	Electrical / ICT	Electrical	Existing electrical doesn't have the capacity for the expansion .	Separated system needs to run for the new scope (Due Date: TBC)	Electrical - NDY	TBC	Complete		Substation upgrade may be required, but exception from spare capacity requirements may be possible with SINSW. MSB to be upgraded. NDY to consult with Arcadis to review cost plan allowances.		
13	DTM	07-Aug-24	Phase 2	Mechanical	Mechanical	Air conditioning and Mechanical system	Separated system needs to run for the new scope (Due Date: TBC)	Mechanical - NDY	TBC	Closed		Mechanical confirmed it's same strategy as existings and will be addressed in the design development		
14	DTM	7-Aug-24	Phase 2	Civil Issue	Civil	Existing drainage channel is an issue	Further Investigation and solutions to be provided (Due Date: 08/08/2024)	Civil - Meinhardt	8-Aug-24	Complete		Outside of scope of this project. Meinhardt to detail issue to SINSW to be raised with the school		
15	DTM	7-Aug-24	Phase 2	Hydraulic	Hydraulic	As built document of the school for the existing capacity of the services	Following up from SI to get more information SI to get back and confirm all in ground pipe works and sizes (Due Date: 09/08/2024)	Project Manager / SINSW IP Team	9-Aug-24	Complete		Pipe sizes shown on survey		
16	DTM	23-Jul-24	Phase 2	General/ Architectural	Layout	Master Plan options presented 1, 2 + 3 & feedback	Update and meet with DAIS for feedback + cost plan areas comparisons + review by School	Project Manager / SINSW IP Team	12-Aug-24	Complete	Complete	Updates captured		
17	DAIS	05-Aug-24	Phase 2	General/ Architectural	Layout	Master Plan options * Preference for independent access from corridor for each GLS * Plus access from PAA to each GLS * Options for School remove m2	Options prepared for PCG 7/08/2024	SINSW IP Team	7-Aug-24	Complete	Complete	Updates captured		
18	DTM	23-Jul-24	Phase 2	General/ Architectural	BCA	New building options: * connect to existing levels of Building E + stair modifications * move stair closer to western boundary to improved access/egress to GLS	Update options - completed 7/08/2024	Architect - FTA	7-Aug-24	Complete	Complete	Updates captured		
19	PCG	07-Aug-24	Phase 2	General/ Architectural	Layout	Option 1 endorsed: * external corridor space maximised for impromptu learning space * PAA space to include multi-purpose/withdrawal space if possible	Review Option 1 for PRG meeting 12/08/2024	Architect - FTA	12-Aug-24	Complete	Complete	Reviewed on PRG and endoresed Captured on master plan validation		
20	DTM	14-Aug-24	Phase 2	DTS	Meeting Time	Meeting time to be extended to 1.5 hour	RP to manage and updating the invite	Project Manager	21-Aug-24	Complete	Complete	RP actioned.		
21	DTM	14-Aug-24	Phase 2	Masterplan validation	Amenities	Amenities study should be done as a part of this masterplan validation	SI and RP to investigate for further details on that to be provided	Project Manager	15-Aug-24	Complete	Complete	Added based on provided information.		
22	DTM	14-Aug-24	Phase 2	Masterplan validation	BCA/DDA	Copliant accessible path	As it's an extention of the building E and we only required compliant access to the building and connction to the existing. It's not mandatory to do any upgrade to the school pathway.	Architect - FTA	16-Aug-24	Complete	Complete	Updated on Masterplan report		
23	DTM	14-Aug-24	Phase 2	Masterplan validation	Risk Section	To be reviewed and updated	Having analysis and register both are confusing Register to be aligned with SI format - RP to investigate further required update	Project Manager	15-Aug-24	Complete	Complete	Updated on Masterplan report		
24	DTM	14-Aug-24	Phase 2	Masterplan validation	Airquality and noise	Updating to notes	Air quality and noise and other details noted to be undertaken and will be reviewed as a part of concept design.	Architect - FTA	16-Aug-24	Complete	Complete	Updated on Masterplan report		
25	DTM	14-Aug-24	Phase 2	Masterplan validation	Design issues	Updating to notes	Rewording of the design issues to mentioning the building design incorporate them as moving forward	Architect - FTA	16-Aug-24	Complete	Complete	Updated on Masterplan report		
26	DTM	14-Aug-24	Phase 2	Masterplan validation	Arborist	Updating to notes	Arborist doing site visite Furthur arborist advise will be able to be included to the report. Rewording that tree relative design issue to indicates intention of retention.	Architect - FTA	16-Aug-24	Complete	Complete	Updated on Masterplan report		

Item	Team	Date Raised	Phase		Subject	Item	Actions	Action Required By	Date Due	Item Status DO NOT ADJUST. FT/RPI TO AMEND FOLLOWING MEETING REVIEWS	Consultant's recommended status	Further Actions/Updates/Comments. If the item is closed, this section is to include a reference on how it was closed and drawing/report reference.	Date Closed DO NOT AMEND. FT/RPI TO AMEND FOLLOWING MEETING	Consultant's comments
27	DTM	14-Aug-24	Phase 2	Masterplan validation	Vehicle access	Updating to notes	Vehicle access is the ambulance access to the site and adding the note in terms of emergency access to be provided on construction phase - Access during construction	Architect - FTA	16-Aug-24	Complete	Complete	Updated on Masterplan report		
28	DTM	14-Aug-24	Phase 2	Masterplan validation	Vehicle access	Updating to notes	Any stuff about services issues that impacting the cost to be raised as a part issues for any further consideration Rebuilding the booster with additional pump	Architect - FTA	16-Aug-24	Complete	Complete	Updated on Masterplan report		
29	DTM	14-Aug-24	Phase 2	Masterplan validation	Checklist	Due diligence check table	Due diligence check table to be reviewed and advised by RP	Project Manager	16-Aug-24	Complete	Complete	Updated on Masterplan report		
30	DTM	14-Aug-24	Phase 3	Masterplan validation	KoP	Updating to notes	Removing the KoP section or simplifying that saying SINSW standard	Architect - FTA	16-Aug-24	Complete	Complete	Updated on Masterplan report		
31	DTM	14-Aug-24	Phase 4	Masterplan validation	Heritage	Updating to notes	European has an impact on planning pathway as some of the buildings are heritage , additional notes to say not impacting the new building and planning pathway	Architect - FTA	16-Aug-24	Complete	Complete	Updated on Masterplan report		
32	DTM	14-Aug-24	Phase 5	Masterplan validation	Site	Updating to notes	Not found any contamination on norther part test pits	Architect - FTA	16-Aug-24	Complete	Complete	Updated on Masterplan report		
33	DTM	14-Aug-24	Phase 6	Masterplan validation	Biodiversity	Updating to notes	Getting more clear with the trees addressed on the recommendation. BDAR impacting the plan so need to be clarified.	Architect - FTA	16-Aug-24	Complete	Complete	Updated on Masterplan report		
34	DTM	14-Aug-24	Phase 7	Masterplan validation	Arborist	Updating to notes	Just to include trees on the impacted area	Architect - FTA	16-Aug-24	Complete	Complete	Updated on Masterplan report		
35	DTM	14-Aug-24	Phase 8	Masterplan validation	Traffic	Updates to be reviewed	SI Internaly reviewed on transport report and need RP to make sure if upgrading those will affect the scope	Project Manager	16-Aug-24	Complete	Complete	Updated on Masterplan report		
36	DTM	14-Aug-24	Phase 2	Masterplan validation	Playspace calculation	Playspace calculation update	Options against passive and active demolition or SI normal - Furthur advise from design advisory - SI to provide right person for discussion.	SINSW IP Team	15-Aug-24	Complete	Complete	Updated on Masterplan report		
37	DTM	14-Aug-24	Phase 2	Masterplan validation	Playspace calculation	Playspace calculation update	Number of the students to be updated as 644 on Left and 667 on the right calculation	Architect - FTA	16-Aug-24	Complete	Complete	Updated on Masterplan report		
38	DTM	14-Aug-24	Phase 2	Masterplan validation	Playspace calculation	Playspace calculation update	Showing the previous existing demountable on site and deducting the area of that from existings	Architect - FTA	16-Aug-24	Complete	Complete	Updated on Masterplan report		
39	DTM	14-Aug-24	Phase 2	Masterplan validation	Report	Report update based on comments and feedbacks	SI to send their comment on masterplan draft report FTA to capture the comments and rewordings	Architect - FTA	16-Aug-24	Complete	Complete	Updated on Masterplan report		
40	DTM	21-Aug-24	Phase 2	Masterplan validation	Report	Cost plan, Programme, Risk register need to be attached to the report as a deliverable	RP to advise for the process	SINSW IP Team	2-Oct-24	Complete	Complete	Awaiting CV feedback. MVP Design review meeting scheduled for 25.09.24		
41	DTM	21-Aug-24	Phase 2	Masterplan validation	Report	Cammeray core size is large but keeping gap analysis based on the 667 capacity and medium core	FTA to keep the calculation as is in the report	Architect - FTA	23-Aug-24	Complete	Complete			
42	DTM	21-Aug-24	Phase 2	Cost plan	Fire Hydrant	Consideration of united building or Fire sepration option with performance solution against fire hydrant requirement	Acor and BCA to review options with Cost team	Various - list	23-Aug-24	Complete		Building will be considered a united building. Flow and pressure from alternative connection is sufficient so tanks and pumps should not be required.		
43	DTM	21-Aug-24	Phase 2	Masterplan validation	Playspace calculation	Confirmation of the play space calculation from EFSG	FTa to send the email and cc SI and RP team	Architect - FTA	23-Aug-24	Complete	Complete	EFSG approved the way that calculation is done on the drawings.		
44	DTM	22-Aug-24	Phase 2	Masterplan validation	Survey	Building E scope/extent of survey	Design Team to provide a scope of works required to complete a full survey of Building E 2- With SINSW IP for procurement	SINSW IP Team	16-Oct-24	Complete	In progress/Assigned	Should be attending site in the School Holidays report should be available the following week.		
45	DTM	27-Aug-24	Phase 2	Masterplan validation	PAPS	Comments received from SINSW Stat Planning	Planners to review and update PAPS	Town Planner	25-Sep-24	Closed		Likely to be a REF following latest SINSW advice - Meeting on 26.09.24 to review Confirmed that PAPS is not required. REF deliverable list will be provided.		
46	DTM	28-Aug-24	Phase 2	General/ Architectural	Options	Options comments: - Option 1 is limmiting the access to vehicle height on not working - Option 3 is not viable as they have lack of play spafe at the moment - Option 4,5,6 to be raised for discussion to the school	SI to send the options to school for their review and comments on finalising the location and the layout.	Architect - FTA	11-Sep-24	Complete		Proceed with original building location. Masterplan Validation Report to provide commentary on why other options weren't viable.		
47	DTM	28-Aug-24	Phase 2	Programme	Tree Removal	The programme impact on removing the trees relative to BDAR process	RP to investigate and update	Project Manager	3-Sep-24	Complete		RPI discussed BDAR with Arborist and Water Technology and both confirmed that there is no high value biodiversity on site, hence no requirement for a BDAR. RP to arrange for meeting with the Arborist and Planner to confirm impact of removing trees.		
48	DTM	28-Aug-24	Phase 2	Cost plan	Civil	OSD tank requirement to be confirmed	RP to clarify that with planners and council	Project Manager	3-Sep-24	Complete	Complete	OSD confirmed, modular tank sizes 3m x 5m and the Quality tank about the same size. Required volume about 75m3 (tbc) - We could leave the OSD off the drgs and await Council comments?		
49	DTM	28-Aug-24	Phase 2	Cost plan	Structure	Ground floor slab requirement	RP to investigate and update	Project Manager	3-Sep-24	Complete		Suspended slab to be pursued to align with existing levels of adjacent building E		
50	DTM	04-Sep-24	Phase 2	General/ Architectural	School Approval	Send details of tree removal to SINSW for discussion with Sharon Sands.	FTA to send the document / SI to communicate with comunity and school on that	Architect - FTA	11-Sep-24	Complete		FTA provided the support document related to that		
51	DTM	04-Sep-24	Phase 2	Landscape	Tree replacement	Seek advice from Landscape Architect regarding replacement of trees being removed.	FTA to get the landscape advice on that	Architect - FTA	11-Sep-24	Complete	Complete	Advice from Landscape Architect - We would recommend that we provide supplementary tree planting to other locations within the school due to the extensive root systems within the garden beds where the trees are being removed not providing the best of growing conditions for younger trees. IF we were to replant within the zone around the new school building, then this would be along the Miller Street fenceline. However, Tree root investigation in this area would be recommended to ascertain the viability of replanting in this location. Any new planting to the south or behind the new building will not have access to the necessary sunlight so planting within the garden bed is not recommended.		
52	DTM	04-Sep-24	Phase 2	General/ Architectural	Options	FTA to issue copies of the options analysis for the building location to SINSW.		Architect - FTA	11-Sep-24	Complete				
53	DTM	04-Sep-24	Phase 2	RTA	Bike park	RTA requires 50 bicycle parking spaces.	FTA / GI to review locations.	Architect - FTA	11-Sep-24	Complete	Complete	FTA proposed location - in replacement of demountables on Bellevue St frontage.		
54	DTM	04-Sep-24	Phase 2	Mastervvalidation report	Tree removal	Additional notes to be included to the report, summary of the revieed options and the most viable one and mentioning the removal of the trees is the outcome of managing the risk to the building and kids involved areas.	FTA to add after finalising the trees decision	Architect - FTA	13-Sep-24	Complete	Complete	Added to report - final version to be issued.		
55	DTM	11-Sep-24	Phase 2	Landscape	Tree removal	FTA to re-issue tree removal diagrams with more detail to AC and CV for inclusion in presentation to school and stakeholders	FTA to showing 3rd tree as orange to indicate that it is at risk, but not currently proposed for removal. FTA to also add larger notes with tree numbers.	Architect - FTA	18-Sep-24	Complete	Complete			
56	DTM	11-Sep-24	Phase 2	Landscape	Replacement Planting	FTA to add replacement tree planting to the proposed site plan in the masterplan Validation Report	Trees to be shown to the North East of the site - adjacent to the playing field with a note to indicate final location to be determined.	Architect - FTA	18-Sep-24	Complete	Complete			

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57	DTM	11-Sep-24	Phase 2	General/ Architectural	PAA Planning	Meeting to be held to review detailed layout of PAA area with Jasna and school to agree on how the space should be fitout	FTA to prepare sketch for discussion.	Project Manager	16-Oct-24	Complete	In progress/Assigned	RP to schedule a meeting with the school to review following school holidays Jasna reviewed the current layout and sent the markup on , FTA to integrate the markup on the next package Jasna's Markup to be addressed in the design development phase in regards to furniture and internal finishes		
58	DTM	11-Sep-24	Phase 2	General/ Architectural	Bag Storage	Jasna noted that the current standards allow for more area in the classrooms to accommodate bag storage.	FTA to review classroom layouts to confirm bag storage can be incorporated.	Project Manager	16-Oct-24	Complete	In progress/Assigned	RP to schedule a meeting with the school to review following school holidays Jasna advised for allocation of 30 bag storage in peagon hole strategy into internal layout, FTAm to integrate that in the next package Updated on the architecture package		
59	DTM	11-Sep-24	Phase 2	ICT	Existing ICT Audit	NDY to complete audit of existing ICT infrastructure and systems.	Once Audit is issued by NDY a meeting is to be arranged with the SINSW ICT rep to review details and agree on extent of work.	SINSW ICT	18-Sep-24	Complete	In progress/Assigned	RO'H to provide existing audit		
60	DTM	18-Sep-24	Phase 2	Heritage	Heritage Impact Statement	RP to commence the process of engaging heritage consultant to provide heritage impact statement to support planning approval	RP to advise on scope of works required to issue to SINSW	SI Heritage	25-Sep-24	Complete	In progress/Assigned	Draft already completed - Gyde to review and confirm if it satisfies planning requirements Updated Statement of Heritage impact in progress pending design assessment of the roof and façade treatment.		
61	DTM	18-Sep-24	Phase 2	Procurement	Tree Removal - Additional Reports	RP to confirm the next steps required to progress the removal of trees and confirm what additional consultant procurement may be required.	RP to advise on consultants required and scope of works required to issue to SINSW	Project Manager	25-Sep-24	Complete		RP to confirm Arborist got updated with the approach and progressing the process for those tree removals. Tree replanting on site to be confirmed with Arborist		
62	Design Review Meeting	25/09/24	Phase 2	Existing building	Works to existing MSB room	SI Heritage queried extent of works in MSB room to inform them of any heritage issues that it may trigger	NDY to provide scope of works to be carried out in MSB room for SI Heritage review	Electrical - NDY	8-Oct-24	Closed		NDY to go on site visit 04.10.24 Site visit conducted by NDY on 04.10.24 clocluded that there is no substation required. Layout for the main comms room to be discussed with Duncan (SI Heritage) NDY Confirmed that no additional works required based on site inspection		
63	DTM	25-Sep-24	Phase 3	General/ Architectural	Gutter Guard	It was noted that the gutters (including valley gutters) to the new roof should be specified to be fixed with gutter guard to protect from leaf fall.	FTA to include details in the specifications in Schematic Design	Architect - FTA	29-Nov-24	Complete		Additional details to be provided on the specification EFSG requirement to be addressed on the design.		
64	DTM	25-Sep-24	Phase 2	General/ Architectural	Lift to Roof	FTA proposed that the roof to the lift should be reversed to allow the gutter to spread water onto the main roof. It was also proposed that a small hip roof be created at the back of the lift shaft to avoid a box gutter in this area.	Both proposals were considered acceptable. Acor advised this was suitable from a Hydraulic perspective. FTA to update drawings to reflect this.	Architect - FTA	30-Sep-24	Complete	Complete	Further detail in roof connections to be addressed and coordinated movinf forward		
65	DTM	25-Sep-24	Phase 2	Acoustics	Plant Room Acoustics	FTA proposed a plant room along the Miller Street frontage. Acoustic implications of this location to be reviewed.	NDY to provide an acoustic assessment and advice regarding this location.	Acoustic - NDY	9-Oct-24	Complete		NDY to provide further information		
66	DTM	25-Sep-24	Phase 2	General/ Architectural	BCR Location - Departure	FTA and NDY proposed that the BCR for the building could be located under the new stair.	This was considered acceptable. However, it was noted that the size of the BCR is not the standard EFSG sizing. NDY to provide details of the proposed layout to SINSW to request approval for a departure.	Electrical - NDY	2-Oct-24	Complete		Departure register to be setup and reviewed		
67	DTM	25-Sep-24	Phase 2	General/ Architectural	BCR Location - Fire Rating	MBC advised that fire rated walls and ceilings would be required to the BCR because of it's location under the stair.	MBC to provide advice regarding the FRL required for this area to allow FTA to detail.	BCA - MBC	2-Oct-24	Complete		BCA advised fo 60/60/60 Fire rating requirement to be considered on the BCR location under the stair		
68	DTM	25-Sep-24	Phase 2	Hydraulic	Fire Hydrant Coverage	Acor advised that a review of the Fire Hydrant coverage has shown that the proposed works (and Existing Building E) can't be serviced by the existing hydrant locations.	Acor to provide details of proposed additional hydrant location to provide coverage to Building E and the new works.	Project Manager	2-Oct-24	Complete		Additional information from the surveyor required. RP to investigate and provide further direction . BCA to provide advice on the latent and preexisting non compliances,		
69	PMG	10-Mar-24	Phase 2	Architectural	Heritage	Heritage advice façade / roof colour etc design in heritage precinct	SI Heritage invited to design meeting 9/10/2024	Project Manager	4-Oct-24	Closed				
70	DTM	2-Oct-24	Phase 2	Services Coordination	Initial Consultant Concept Issue	All consultants to progress Concept Design for coordination with the architectural plans	All consultants to issue initial concept drawings for review ahead of the next DTM	All	11-Oct-24	Complete		Civil & structure concept drawings to be issued by 4th of Oct. Electrical & Mechanical & Hydraulic to be issued by 11th of Oct		
71	DTM	2-Oct-24	Phase 2	Structure	Shear Walls	Location of the Shear wall to be over Grid line A in half size f grid 2&3	ST to capture that on their design, FTA to icorporate that in the drawings update	Structural - Meinhardt	11-Oct-24	Complete				
72	DTM	2-Oct-24	Phase 2	Landscape	New trees location	Location of the new proposed trees to be investigated to may or may not having asbestos contamination	RP to investigate	Landscape	18-Oct-24	Complete		Locations were reviewed with the school and changed to adjacent to Building C to avoid asbestos area.		
73	DTM	2-Oct-24	Phase 2	Landscape	Bike parking	Bike parking requirement to be confirmed the numbers Location of the bike parking infron of the new building to be reviewed against pedestrian entry and level difference in access	RP to investigate Landscape to review and update	Project Manager	18-Oct-24	Complete		Bike parking numbers to be confirmed; No change to bike parkuung quantity. 50Bike park advised to be allocated there		
74	DTM	9-Oct-24	Phase 2	Civil / Hydraulic	Downpipes location	Downpipes Location to be reviewed to move to the Northern side or corners to not splitting to retaining wall side..	Civil, Architecture and Hydraulic to have a workshop through. - Civil to update drawings to show downpipes connecting into a new in-ground pipework along the Southern edge of the buidling	Various - list	16-Oct-24	Complete		It was noted that the drawings should incorporate a replacement of the existing pipe to the Southern edge of the building. This will need to be reviewed further once the contractor uncovers the pipework etc. This will need to be noted as a risk.		
75	DTM	9-Oct-24	Phase 2	Architectural	Heritage	Heritage Assessment	SI Heritage to Assess design input in heritage precinct	SI Heritage	23-Oct-24	Complete		SI Heritage to do a site visite and sending following directions on their assessment of current design package. Items raised by SI Heritage: •The mechanical plant location is not suitable for development in a Heritage Conservation Area – this would not be permissible if we were installing in this location as a stand-alone AC project. Mechanical plant location needs to be reconsidered •Trees which are located on the western side of the school (fronting Miller) need to be preserved as much as possible, as the screening they provide is helpful to minimise impacts to new development within the heritage conservation area •The façade treatment was identified as a poor outcome in the heritage conservation area and needs to be reconsidered – the perforated metal screen is not considered a 'recessive' design. In addition, the removal of trees used to screen the site with potential decorative representations of trees on the perforated metal screen is considered an even poorer outcome: the removal of screening trees and replacing them with a strongly visible design of tree silhouettes is exactly the opposite of a discreet/recessive design which is needed when developing on a street frontage in a heritage conservation area - It is noted that the design team have a large number of places and opportunities to incorporate decorative design elements – but the frontage to Miller Street is not one of them.		
76	DTM	23-Oct-24	Phase 2	BCA	Mechanical	Automatic shutdown of mechanical ventilation - NDY to confirm how this will function	Mechanical to provide frthur detail in relation to that BCA requirement through Schematic Design	Mechanical - NDY	13-Nov-24	Complete				

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77	DTM	23-Oct-24	Phase 2	General/ Architectural	Verandah Roof Height	FTA noted that the roof height at the edge of the verandah is only 2100mm due to aligning with the existing roof	FTA to note height of roof at edge of verandah as departure - 2100 high	Architect - FTA	25-Oct-24	Complete				
78	PRG	28-Oct-24	Phase 2	General / Architectural	EFSG	The DEL has requested a comparison between the standard Learning Commons space and the proposed Practical Activities Area.	FTA to provide a PAA size comparison to North Sydney PS as part of the discussions to be held with the users.	Architect - FTA	31-Oct-24	Complete		FTA to send e-mail to RPI to send to DEL		
79	PRG	28/10/2024	Phase 2	General / Architectural	EFSG	The DEL has requested an enclosed Withdrawal space be considered in the PAA area.	FTA to review options for creating a withdrawal space (preferably enclosed) within each PAA area for review with the school.	Architect - FTA	31-Oct-24	Complete				
80	DTM	13-Nov-24	Phase 2	General / Architectural	Building Arrangement	Review of lift location as requested by DIAS / Pattern Book team	FTA to send sketches for SI and EFSG review , RP to follow up for their comments	Project Manager	20-Nov-24	Complete		Proposed sketch presented to SI and received comments back from Jasna to be proceed incoorporating couple of changes.		
81	DTM	13-Nov-24	Phase 2	General / Architectural	3D Images	Coloured renders needed by DPO for public communications	RP and FTA to	Architect - FTA	20-Nov-24	Complete		Updated renders to be issued with the 80% package		